

Agenda for the
Allendale Charter Township Board Meeting
Monday, January 8, 2024, 6:00pm

Members Present:

Members Absent:

Guests Present:

Meeting called to order

- Invocation given by David VanderWall
- Pledge of Allegiance
- Approve Agenda
- Consent Agenda
 - Approval of the December 27th, 2023, Regular Board Meeting Minutes
 - Bills
 - Interim Bills
- For information
 - Minutes of the December 18, 2023, Planning Commission Meeting
 - Planning Commission 2023 Annual Report
 - Planning Commission 2024 Work Program
- Public Hearings
 - Proposed Amendments to the Walgreens PUD – Raymond Building
- Public Comments
- Guest Speakers
- Action Items
 - Resolution 2024-01: Amendment to the Walgreens PUD – Raymond Building
 - Emerald Springs Tentative Preliminary Plat Approval
 - Resolution 2024-02: Board Meeting Dates Corrected
- Discussion Items
- Public Comments
- Board Comments
- Future Agenda Items
- Adjournment

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**PROPOSED
PROCEEDINGS OF THE ALLENDALE
TOWNSHIP BOARD OF TRUSTEES
DECEMBER SESSION 2nd DAY**

The Allendale Township Board of Trustees met at the Allendale Township Auditorium, located at 6676 Lake Michigan Drive, on Wednesday, December 27, 2023, at 8:00 a.m. and was called to order at 8:00 a.m. by Mr. Elenbaas.

Present at Roll Call: Mr. Zeinstra; Ms. Hansen; Ms. Schuitema; Mr. Vander Wall; Ms. Kraker; Mr. Smit; and Mr. Elenbaas. (7)

Absent at Roll Call: None. (0)

Staff and Guests Present: Sgt. Cal Keuning, Sheriff's Department; Chad Doornbos, Public Utilities Superintendent

Mr. Elenbaas pronounced the invocation.

Mr. Elenbaas led in the Pledge of Allegiance to the Flag of the United States of America.

BOT 23-217 Mr. Vander Wall moved to approve the agenda of today as presented. The motion passed.

BOT 23-218 Mr. Zeinstra moved to approve the following Consent Resolutions:

1. To approve the Minutes of the December 11, 2023, Board of Trustees meeting as presented.
2. To approve the general claims in the amount of \$600,427.62 and interim payments of \$126,668.22, as presented by the summary report for December 27, 2023.
3. To approve and authorize the Clerk and Supervisor to sign Resolution 2023-34: Legal Ads; a resolution to utilize the Grand Rapids Press for legal ads for the year 2024.
4. To approve and authorize the Clerk and Supervisor to sign Resolution 2023-35: Board of Review- Authorizing filing of Protest by Letter; a resolution establishing that the Board of Review shall receive letters of protest regarding assessments, and establishing dates to receive the letters.

5. To approve and authorize the Clerk and Supervisor to sign Resolution 2023-36: Committee Appointments; a resolution approving the following committee appointments:

Planning Commission - 3 year Term

Eric Westerling, Term Ending 12/31/2026

Todd Bronson, Term Ending 12/31/2026

Zoning Board of Appeals - 3 year Term

Ray Nadda, Term Ending 12/31/2026

Richard Chapla, Term Ending 12/31/2026

Library Advisory Board - 3 year Term

Karen Amisi, Term Ending 12/31/2026

Carol Scholten, Term Ending 12/31/2026

Downtown Development Authority - 4 year Term

Kellen Brusveen, Term Ending 12/31/2027

Construction Board of Appeals - 3 year Term

Todd Forner, Term Ending 12/31/2026

Rich Rybinski, Term Ending 12/31/2026

Eric Westerling, Term Ending 12/31/2026

Duke Schut, Alternate, Term Ending 12/31/2026

Election Commission - 1 year Term

Candy Kraker, Term Ending 12/31/2024

Kris Schuitema, Term Ending 12/31/2024

The motion passed.

Items Received for Information

1. November Financial Report
2. Minutes of the December 4, 2023, Planning Commission Meeting.
3. Sheriff's Department November Report
4. Fire Department November Report
5. 2023 Internal Budget Amendments: Amendment 11: a \$0 impact to the General Fund Revenues; Amendment 12: a \$400.00 decrease to the Board of Trustees budget; Amendment 13: a \$3,000 decrease to the Employee Insurance budget; Amendment 14: a \$6,800.00 decrease to the Clerk budget; Amendment 16: a \$317.00 decrease to the Treasurer budget; Amendment 17: a \$44,000.00 decrease to the Attorney budget; Amendment 19: a \$173,000.00 decrease to the Police budget; Amendment 24: a \$527.00 decrease to the Highway M-45 budget; Amendment 25: a \$3,016.00 decrease to the Cemetery budget; Amendment 27: a \$0 impact

to the Planning & Zoning budget; Amendment 28: a \$0 impact to the ZBA budget; Amendment 29: a \$362.00 decrease to the Parks & Recreation budget; Amendment 30: a \$4,374.00 decrease to the Community Promotions budget; Amendment 31: a \$11,534.00 decrease to the Library budget; Amendment 34: a \$1,026.00 decrease to the Inspections budget; Amendment 35: a \$196,670.00 decrease to the Capital Improvement budget; Amendment 36: a \$369,000.00 decrease to the DDA budget; Amendment 37: a \$125,000.00 decrease to the Road Improvement budget; Amendment 39: a \$197,614.00 decrease to the Water Department budget; Amendment 40: a \$30,181.00 decrease to the Sewer Department budget.

Public Hearings- None

Public Comments- None

BOT 23-219 Mr. Elenbaas moved to close public comment. The motion passed.

Guest Speakers- None

Action Items

BOT 23-220 Mr. Vander Wall moved to approve and authorize the following budget amendments:
Amendment 15: with an overall increase of \$10,046.00 to the Administration budget; Amendment 18: with an overall increase of \$3,124.00 to the Human Resource budget; Amendment 20: with an overall increase of \$5,800.00 to the Fire Department budget; Amendment 21: with an overall increase of \$20,610.00 to the Drain at Large budget; Amendment 22: with an overall increase of \$350.00 to the Roads budget; Amendment 23: with an overall increase of \$5,000.00 to the Street Lights budget; Amendment 26: with an overall increase of \$1,183.00 to the Lifelong Learners budget; Amendment 32: a transfer of \$500,000.00 out of general fund balance to Capital Improvements/One Time Projects Fund for future capital expenditures; Amendment 33: a \$175,800.00 increase in revenues to the Building Inspections Fund; Amendment 38: a \$9,218.00 increase in revenues to the Water/Sewer Administration Fund. The motion passed as shown by the following votes:

YAYS: Mr. Zeinstra; Ms. Kraker; Mr. Vander Wall; Ms. Hansen; Mr. Smit; Ms. Schuitema; and Mr. Elenbaas (7)

NAYS: None (0)

Discussion Items- None

Public Comments- None

BOT 23-221 Mr. Elenbaas moved to close public comment. The motion passed.

Board Comments

Ms. Hansen informed everyone that the candidate information packets were available for anyone who is interested in running for a board position in 2024.

BOT 23-222 Mr. Vander Wall moved to adjourn the meeting at 8:21 a.m. The motion passed.

Jody L. Hansen, Clerk
Of the Township of Allendale

Adam Elenbaas, Supervisor
Of the Township of Allendale

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Page: 1/5

GL Number	GL Desc	Vendor	Invoice Description	Amount	Check #
Fund 101 General Fund					
Dept 000.000 REVENUE					
101-000.000-222.000	Due To County	OTTAWA COUNTY TREASURER	DOG LICENSES - DECEMBER	75.00	
101-000.000-231.030	Misc Ins - Aflac	AFLAC	MISCELLANEOUS INSURANCE - DECEMBER	285.50	
101-000.000-284.210	EMERALD SPRINGS-PUD-SIGNATURE L	FRESH COAST PLANNING LLC	PLANNING SERVICES - DECEMBER	208.00	
101-000.000-284.251	11655 48TH AVE-KLEINJANS-RAVEN	FRESH COAST PLANNING LLC	PLANNING SERVICES - DECEMBER	429.00	
101-000.000-284.252	RAYMOND BLDG-PUD 68TH AVE	FRESH COAST PLANNING LLC	PLANNING SERVICES - DECEMBER	338.00	
101-000.000-284.253	DOLLAR GENERAL-10955 48TH AVE	FRESH COAST PLANNING LLC	PLANNING SERVICES - DECEMBER	976.00	
101-000.000-284.254	JEFFY LUBE-5195 LMD	FRESH COAST PLANNING LLC	PLANNING SERVICES - DECEMBER	273.00	
101-000.000-284.255	ALLIED INSTALLATIONS-11500 56TH	FRESH COAST PLANNING LLC	PLANNING SERVICES - DECEMBER	182.00	
101-000.000-284.256	5500 LMD PUD-RJM PROPERTIES GR	FRESH COAST PLANNING LLC	PLANNING SERVICES - DECEMBER	546.00	
101-000.000-613.000	MISC INCOME	FRESH COAST PLANNING LLC	PLANNING SERVICES - DECEMBER	130.00	
101-000.000-659.000	LIBRARY FINES/MISC	AMYE L HOPP	LOST & FOUND BOOK REFUND	26.99	
Total For Dept 000.000 REVENUE				3,469.49	
Dept 171.000 Supervisor					
101-171.000-802.000-CELLPH	Contracted Services	VERIZON WIRELESS	CELL PHONE CHARGES - DECEMBER	48.77	
101-171.000-860.000	MILEAGE	ADAM ELENBAAS	MILEAGE REIMBURSEMENT - 4TH QTR 2023	146.91	
Total For Dept 171.000 Supervisor				195.68	
Dept 209.000 EMPLOYEE INSURANCES					
101-209.000-717.000	LIFE INS	MUTUAL OF OMAHA INSURANC	HEALTH INSURANCES - JANUARY	121.78	
101-209.000-718.000	DISABILITY INS	MUTUAL OF OMAHA INSURANC	HEALTH INSURANCES - JANUARY	379.79	
101-209.000-720.000-DENTAL	EMPLOYERS HEALTH INSURANCE	MUTUAL OF OMAHA INSURANC	HEALTH INSURANCES - JANUARY	911.62	
101-209.000-720.000-VISION	EMPLOYERS HEALTH INSURANCE	VISION SERVICE PLAN	HEALTH INSURANCE - JANUARY	309.03	
Total For Dept 209.000 EMPLOYEE INSURANCES				1,722.22	
Dept 215.000 CLERK					
101-215.000-802.000	Contracted Services	GENERAL CODE LLC	ECODE ANNUAL MAINTENANCE FEE	995.00	
101-215.000-802.000-CELLPH	Contracted Services	VERIZON WIRELESS	CELL PHONE CHARGES - DECEMBER	97.54	
101-215.000-900.000	PRINTING, PUBLISHING, & POSTAGE	MLIVE MEDIA GROUP	GR PRESS DISPLAY ADS - DECEMBER	1,333.27	
Total For Dept 215.000 CLERK				2,425.81	
Dept 248.000 ADMINISTRATION					
101-248.000-732.000	SUPPLIES	AMAZON CAPITAL SERVICES	DYMO LABEL WRITER & LAMINATE REFILL	205.17	
101-248.000-732.000	SUPPLIES	AMAZON CAPITAL SERVICES	OFFICE SUPPLIES	137.80	
101-248.000-732.000	SUPPLIES	AMAZON CAPITAL SERVICES	OATH PAPER & SHELVING	25.95	
101-248.000-802.000-ITMONT	Contracted Services	ENGINE	ANNUAL WEBSITE HOSTING FEE	225.00	
101-248.000-900.000	PRINTING, PUBLISHING, & POSTAGE	KCI (KENT COMMUNICATIONS	MAIL PICKUP FEE - OCT;NOV;DEC	135.00	
101-248.000-900.000	PRINTING, PUBLISHING, & POSTAGE	PITNEY BOWES BANK INC PU	POSTAGE METER REFILL	1,435.27	
101-248.000-955.000	Miscellaneous	VERIZON WIRELESS	MIRAKI MODEM & CELL PHONE CHARGES - D	5.94	
Total For Dept 248.000 ADMINISTRATION				2,170.13	
Dept 257.000 ASSESSOR					
101-257.000-860.000	MILEAGE	CONNOR GALLIGAN	MILEAGE REIMBURSEMENT	169.65	
Total For Dept 257.000 ASSESSOR				169.65	
Dept 262.000 ELECTIONS					
101-262.000-732.000	SUPPLIES	AMAZON CAPITAL SERVICES	FILE ORGANIZER	16.98	
101-262.000-732.000	SUPPLIES	AMAZON CAPITAL SERVICES	OATH PAPER & SHELVING	151.96	
101-262.000-732.000	SUPPLIES	PRINTING SYSTEMS INC	BALLOT SECRECY ENVELOPES	557.82	
101-262.000-802.000	Contracted Services	KCI (KENT COMMUNICATIONS	AV APPLICATIONS & POSTAGE	1,568.50	
101-262.000-900.000	PRINTING, PUBLISHING, & POSTAGE	KCI (KENT COMMUNICATIONS	AV APPLICATIONS & POSTAGE	598.99	
Total For Dept 262.000 ELECTIONS				2,894.25	

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EXP CHECK RUN DATES 12/28/2023 - 01/09/2024
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Page: 2/5

GL Number	GL Desc	Vendor	Invoice Description	Amount	Check #
Fund 101 General Fund					
Dept 265.000 BUILDING & GROUNDS					
101-265.000-802.000-CELLPH	Contracted Services	VERIZON WIRELESS	MIRAKI MODEM & CELL PHONE CHARGES - D	11.88	
101-265.000-802.000-CELLPH	Contracted Services	VERIZON WIRELESS	CELL PHONE CHARGES - DECEMBER	48.77	
101-265.000-802.000-TELEPH	Contracted Services	ACENTEK	TELEPHONE CHARGES - JANUARY	948.94	
101-265.000-926.000-ELECTR	UTILITIES	CONSUMERS ENERGY	ELECTRIC USAGE - JANUARY	680.04	
101-265.000-930.000	Maintenance	ALLENDALE TRUE VALUE HDW	MAINTENANCE SUPPLIES - TWNSHP HALL	146.31	
101-265.000-930.000	Maintenance	AMAZON CAPITAL SERVICES	HANDICAP DOOR OPENER	699.00	
101-265.000-930.000	Maintenance	AMAZON CAPITAL SERVICES	WIRELESS BACKUP CAMERA	79.99	
101-265.000-930.000	Maintenance	FAMILY FARM & HOME INC	MAINTENANCE SUPPLIES	41.41	
101-265.000-930.000-TRUCKT	Maintenance	ALLENDALE TRUE VALUE HDW	MAINTENANCE SUPPLIES - TWNSHP HALL	55.69	
101-265.000-930.000-TRUCKT	Maintenance	BURNIPS EQUIPMENT COMPAN	MAINTENANCE SUPPLIES - TRACTORS	537.34	
101-265.000-930.000-TRUCKT	Maintenance	TOLMAN'S AUTO TECH GROUP	TIRES	290.25	
101-265.000-930.000-TRUCKT	Maintenance	WESTENBROEK MOWER INC	FILTERS	59.98	
101-265.000-971.030	BUILDING IMP-MAINT BLDG	ALLENDALE TRUE VALUE HDW	MAINTENANCE SUPPLIES - TWNSHP HALL	266.40	
Total For Dept 265.000 BUILDING & GROUNDS				3,866.00	
Dept 336.000 FIRE DEPT					
101-336.000-802.000-CELLPH	Contracted Services	VERIZON WIRELESS	CELL PHONE CHARGES - DECEMBER	58.77	
Total For Dept 336.000 FIRE DEPT				58.77	
Dept 449.000 HIGHWAY-M45					
101-449.000-926.000-ELECTR	UTILITIES	CONSUMERS ENERGY	ELECTRIC USAGE - JANUARY	607.50	
101-449.000-930.000-LIGHTS	Maintenance	WESCO RECEIVABLES CORPOR	LIGHT POLES	2,361.92	
Total For Dept 449.000 HIGHWAY-M45				2,969.42	
Dept 701.000 PLANNING & ZONING					
101-701.000-802.000	Contracted Services	FRESH COAST PLANNING LLC	PLANNING SERVICES - DECEMBER	1,911.00	
Total For Dept 701.000 PLANNING & ZONING				1,911.00	
Dept 751.000 RECREATION AND PARKS					
101-751.000-930.000	Maintenance	ALLENDALE TRUE VALUE HDW	MAINTENANCE SUPPLIES - TWNSHP HALL	90.11	
101-751.000-930.000	Maintenance	AMAZON CAPITAL SERVICES	SWINGS & BUCKETS - PARK	163.95	
Total For Dept 751.000 RECREATION AND PARKS				254.06	
Dept 790.000 LIBRARY					
101-790.000-732.000	SUPPLIES	AMAZON CAPITAL SERVICES	TOILET PAPER	44.22	
101-790.000-732.000-AVMATE	SUPPLIES	MICROMARKETING LLC	AUDIO BOOK	45.00	
101-790.000-732.000-BOOKSX	SUPPLIES	BAKER & TAYLOR BOOKS LLC	BOOKS	155.80	
101-790.000-732.000-BOOKSX	SUPPLIES	EAST LANSING PUBLIC LIBR	REPLACEMENT BOOK	12.37	
101-790.000-732.000-CHILDB	SUPPLIES	BAKER & TAYLOR BOOKS LLC	YOUTH BOOKS	51.23	
101-790.000-732.000-CHILDB	SUPPLIES	BAKER & TAYLOR BOOKS LLC	YOUTH BOOKS	124.82	
101-790.000-802.000-DIGITA	Contracted Services	LAKELAND LIBRARY COOPERA	QTRLY OVERDRIVE = JAN-MAR 2024	603.58	
101-790.000-802.000-DIGITA	Contracted Services	MIDWEST TAPE LLC	DIGITAL COLLECTION - DECEMBER	1,247.66	
101-790.000-802.000-EPSSEC	Contracted Services	ENGINEERED PROTECTION SY	VIDEO SERVICE AGREEMENT = FEB-APR 202	131.16	
101-790.000-802.000-HOTSPO	Contracted Services	T-MOBILE	WIRELESS WIFI HOTSPOTS - DECEMBER	229.60	
101-790.000-802.000-LAKELA	Contracted Services	LAKELAND LIBRARY COOPERA	QTRLY FEES = JAN-MAR 2024	6,063.50	
101-790.000-802.000-TECHNO	Contracted Services	ACENTEK	TELEPHONE CHARGES - JANUARY	218.95	
101-790.000-802.000-TELEPH	Contracted Services	ACENTEK	TELEPHONE CHARGES - JANUARY	45.90	
101-790.000-807.000-YOUTH	COMMUNITY PROGRAMS	AMAZON CAPITAL SERVICES	TAKE & MAKE SUPPLIES	60.85	
101-790.000-807.000-YOUTH	COMMUNITY PROGRAMS	AMAZON CAPITAL SERVICES	FAMILY FORT NIGHT SUPPLIES	13.99	
101-790.000-807.000-YOUTH	COMMUNITY PROGRAMS	AMAZON CAPITAL SERVICES	POP-IN PLAYTIME SUPPLIES	10.50	
101-790.000-807.000-YOUTH	COMMUNITY PROGRAMS	CORINNE ROBERTS	DRAWING CLASS - REPTILES & AMPHIBIANS	125.00	
101-790.000-860.000	MILEAGE	ASHLEY JOHNSON	MILEAGE REIMBURSEMENT	25.35	

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Page: 3/5

GL Number	GL Desc	Vendor	Invoice Description	Amount	Check #
Fund 101 General Fund					
Dept 790.000 LIBRARY					
		Total For Dept 790.000 LIBRARY		9,209.48	
		Total For Fund 101 General Fund		31,315.96	
Fund 249 Building Department Fund					
Dept 371.000 INSPECTION DEPARTMENT					
249-371.000-717.000	LIFE INS	MUTUAL OF OMAHA INSURANC	HEALTH INSURANCES - JANUARY	3.09	
249-371.000-718.000	DISABILITY INS	MUTUAL OF OMAHA INSURANC	HEALTH INSURANCES - JANUARY	8.17	
		Total For Dept 371.000 INSPECTION DEPARTMENT		11.26	
		Total For Fund 249 Building Department Fund		11.26	
Fund 252 RENTAL ADMINISTRATION					
Dept 371.000 INSPECTION DEPARTMENT					
252-371.000-717.000	LIFE INS	MUTUAL OF OMAHA INSURANC	HEALTH INSURANCES - JANUARY	6.18	
252-371.000-718.000	DISABILITY INS	MUTUAL OF OMAHA INSURANC	HEALTH INSURANCES - JANUARY	21.74	
252-371.000-720.000-DENTAL	EMPLOYERS HEALTH INSURANCE	MUTUAL OF OMAHA INSURANC	HEALTH INSURANCES - JANUARY	109.94	
252-371.000-720.000-VISION	EMPLOYERS HEALTH INSURANCE	VISION SERVICE PLAN	HEALTH INSURANCE - JANUARY	14.37	
		Total For Dept 371.000 INSPECTION DEPARTMENT		152.23	
		Total For Fund 252 RENTAL ADMINISTRATION		152.23	
Fund 404 CAPITAL/ONE-TIME PROJECTS FUND					
Dept 265.000 BUILDING & GROUNDS					
404-265.000-971.000	CAPITAL OUTLAY	BELL EQUIPMENT COMPANY	EQUIPMENT PURCHASE	74,884.37	
		Total For Dept 265.000 BUILDING & GROUNDS		74,884.37	
		Total For Fund 404 CAPITAL/ONE-TIME PROJECTS FUND		74,884.37	
Fund 494 Dda Development Fund					
Dept 266.000 ATTORNEY					
494-266.000-802.000	Contracted Services	DICKINSON WRIGHT PLLC	ATTORNEY SERVICES - NOVEMBER	92.00	
		Total For Dept 266.000 ATTORNEY		92.00	
		Total For Fund 494 Dda Development Fund		92.00	
Fund 592 Water & Sewer					
Dept 000.000 REVENUE					
592-000.000-231.030	Misc Ins - Aflac	AFLAC	MISCELLANEOUS INSURANCE - DECEMBER	117.28	
592-000.000-266.000	WAGE GARNISHMENT PAYABLE	ILLINOIS STATE DISBURSEM	CHILD SUPPORT DISBURSEMENT	230.77	
		Total For Dept 000.000 REVENUE		348.05	
Dept 248.000 ADMINISTRATION					
592-248.000-900.000	PRINTING, PUBLISHING, & POSTAGE	PACK ROOM LLC	SHIPPING CHARGES	179.18	
		Total For Dept 248.000 ADMINISTRATION		179.18	
Dept 536.000 WATER					
592-536.000-717.000	LIFE INS	MUTUAL OF OMAHA INSURANC	HEALTH INSURANCES - JANUARY	32.80	
592-536.000-718.000	DISABILITY INS	MUTUAL OF OMAHA INSURANC	HEALTH INSURANCES - JANUARY	120.80	
592-536.000-720.000-DENTAL	EMPLOYERS HEALTH INSURANCE	MUTUAL OF OMAHA INSURANC	HEALTH INSURANCES - JANUARY	412.72	
592-536.000-720.000-VISION	EMPLOYERS HEALTH INSURANCE	VISION SERVICE PLAN	HEALTH INSURANCE - JANUARY	100.35	
592-536.000-732.000-GENSUP	SUPPLIES	ALLENDALE TRUE VALUE HDW	SUPPLIES - WATER DEPT	23.03	
592-536.000-732.000-SERVIP	SUPPLIES	EJ USA INC	RODS	2,872.00	
592-536.000-802.000-MULTIP	Contracted Services	AMBS CALL CENTER	EMERGENCY CALL NUMBER - DECEMBER	60.00	
592-536.000-802.000-MULTIP	Contracted Services	H2O COMPLIANCE SERVICES	CROSS CONNECTION CONTROL MGMT - DECEM	877.50	

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EXP CHECK RUN DATES 12/28/2023 - 01/09/2024

Page: 4/5

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GL Number	GL Desc	Vendor	Invoice Description	Amount	Check #
Fund 592 Water & Sewer					
Dept 536.000 WATER					
592-536.000-802.000-TELEPH	Contracted Services	ACENTEK	TELEPHONE CHARGES - JANUARY	39.95	
592-536.000-802.000-TELEPH	Contracted Services	VERIZON WIRELESS	CELL PHONE CHARGES - DECEMBER	170.47	
592-536.000-863.000	FUEL	WEX BANK-SPEEDWAY	FUEL CHARGES - DECEMBER	467.82	
592-536.000-926.000-ELECTR	UTILITIES	CONSUMERS ENERGY	ELECTRIC USAGE - JANUARY	3,416.00	
Total For Dept 536.000 WATER				8,593.44	
Dept 537.000 SEWER					
592-537.000-717.000	LIFE INS	MUTUAL OF OMAHA INSURANC	HEALTH INSURANCES - JANUARY	32.80	
592-537.000-718.000	DISABILITY INS	MUTUAL OF OMAHA INSURANC	HEALTH INSURANCES - JANUARY	120.80	
592-537.000-720.000-DENTAL	EMPLOYERS HEALTH INSURANCE	MUTUAL OF OMAHA INSURANC	HEALTH INSURANCES - JANUARY	412.72	
592-537.000-720.000-VISION	EMPLOYERS HEALTH INSURANCE	VISION SERVICE PLAN	HEALTH INSURANCE - JANUARY	100.34	
592-537.000-732.000-GENSUP	SUPPLIES	ALLENDALE TRUE VALUE HDW	SUPPLIES - WASTE DEPT	206.13	
592-537.000-732.000-LABSUP	SUPPLIES	THOMAS SCIENTIFIC LOCKBO	125 ML HDPE BOTTLES	52.35	
592-537.000-732.000-LABSUP	SUPPLIES	THOMAS SCIENTIFIC LOCKBO	EPTIPS	124.72	
592-537.000-802.000-MULTIP	Contracted Services	AMBS CALL CENTER	EMERGENCY CALL NUMBER - DECEMBER	60.00	
592-537.000-802.000-TELEPH	Contracted Services	ACENTEK	TELEPHONE CHARGES - JANUARY	400.97	
592-537.000-802.000-TELEPH	Contracted Services	VERIZON WIRELESS	MIRAKI MODEM & CELL PHONE CHARGES - D	533.93	
592-537.000-802.000-TELEPH	Contracted Services	VERIZON WIRELESS	CELL PHONE CHARGES - DECEMBER	170.47	
592-537.000-863.000	FUEL	WEX BANK-SPEEDWAY	FUEL CHARGES - DECEMBER	467.81	
592-537.000-930.000-WRRFMA	MAINTENANCE	HAMLETT ENVIRONMENTAL TE	4" VALVE DIGESTER	897.00	
Total For Dept 537.000 SEWER				3,580.04	
Total For Fund 592 Water & Sewer				12,700.71	

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Page: 5/5

GL Number	GL Desc	Vendor	Invoice Description	Amount	Check #
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Fund Totals:

Fund 101 General Fund	31,315.96
Fund 249 Building Depa	11.26
Fund 252 RENTAL ADMINI	152.23
Fund 404 CAPITAL/ONE-T	74,884.37
Fund 494 Dda Developme	92.00
Fund 592 Water & Sewer	12,700.71

Total For All Funds:	<hr/> 119,156.53
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INTERIM PAYMENTS
Board Meeting: 1/8/2024

DATE	CHECK #	AMOUNT	VENDOR	DESCRIPTION
12/29/2023	EFT	\$ 977.12	PRIORITY HEALTH	HRA Payment
1/4/2024	EFT	\$ 14,007.90	POC FIRE FIGHTERS	POC FF Payroll
1/4/2024	EFT	\$ 3,089.35	FEDERAL GOV'T	POC FF Payroll IRS Tax Payment
1/4/2024	EFT	\$ 9,461.03	State of Michigan	December State payroll withholdings
1/5/2024	EFT	\$ 71,620.61	EMPLOYEES	Bi-Weekly Payroll
1/5/2024	EFT	\$ 21,666.22	FEDERAL GOV'T	Payroll IRS Tax Payment
1/5/2024	EFT	\$ 1,083.94	PRIORITY HEALTH	HRA Payment
		\$ 121,906.17		

**ALLENDALE CHARTER TOWNSHIP
PLANNING COMMISSION MEETING**

December 18, 2023

7:00 p.m.

Allendale Township Public Meeting Room

1. Call the Meeting to Order
2. Roll Call:
Present: Adams, Westerling, Bronson, Zuniga, Jacquot, Zeinstra
Absent: Nadda
Staff and Guests Present: Planner Greg Ransford
3. Communications and Correspondence:
4. Motion by Zeinstra to approve the December 4, 2023, Planning Commission Minutes with the revision of striking the second to last sentence regarding a “violation.” Seconded by Westerling.
Approved 6-0
5. Motion by Adams to approve the December 18, 2023, Planning Commission Agenda as presented. Seconded by Zeinstra. **Approved 6-0**
6. Public Comments for *non-public hearing item*:
Chairperson Adams opened the public comment section for non-public hearing items. Seeing no comments, Chairperson Adams closed the public comment section.
7. Public Hearings: None
8. Site Plan Review: None
9. New Business:
 - A. 2023 Annual Report of the Planning Commission
Mr. Bronson noted that his name was spelled incorrectly.
Motion by Jacquot, seconded by Westerling to approve the 2023 Annual Report with the correction of the spelling of Mr. Bronson’s name. **Approved 6-0**
 - B. 2024 Work Program
Motion by Zeinstra to approve the 2024 Work Program with the addition of reviewing PUD ownership language. Seconded by Zuniga. **Approved 6-0**
 - C. Election of Officers
Motion by Westerling, seconded by Jacquot to keep the officers as they currently are Adams – Chairperson, Nadda – Vice-Chairperson, Secretary – Zuniga. **Approved 6-0**
10. Old Business:
 - A. Zoning Ordinance Text Amendments – Drafts
 - Section 12.06 – Development Requirements for PUD’s with Residential Uses
Commissioners discussed their concerns regarding lot bonuses and noted that the wetland determination language is confusing. Direction was provided to Ransford to update the draft.
 - Section 21.03 – Parking Lot Pavement Requirement
Commissioners discussed deferred parking and directed Planner Ransford to update the draft.
11. Public Comments:
Chairperson Adams opened the public comment section.

Sharon Kleinjans, a resident of Allendale, asked about PUD wording for the PUD located at 52nd and Lake Michigan Dr.

Seeing no more comments, Chairperson Adams closed the public comment section.

12. Township Board Reports:

Mr. Zeinstra reported that County Commissioner Sylvia Rhodea was at the last Board meeting, the DDA funding was continued and there will be a 150-year celebration for Allendale.

13. Commissioner and Staff Comments:

Planner Ransford asked the Commission if they would like to add a date to meet during January as they were only scheduled to meet on January 15, due to New Years Day falling on the 1st Monday. The Commissioners opined that they would like to keep the schedule as previously approved, with only one date.

14. Chairperson Adams adjourned the meeting at 8:16 p.m.

Next meeting January 15, 2024, at 7:00 p.m.

Minutes respectfully submitted by Kelli McGovern



2023 ANNUAL REPORT of the PLANNING COMMISSION of ALLENDALE CHARTER TOWNSHIP

Pursuant to Section 9 of the Allendale Charter Township Planning Commission Bylaws & Rules of Procedure

Executive Summary

On February 17, 2014, the Allendale Charter Township Planning Commission adopted its Bylaws and Rules of Procedure of the Planning Commission to facilitate the performance of its duties as outlined in the Michigan Planning Enabling Act, PA 33 of 2008, MLC 125.3801, et seq., and the Michigan Zoning Enabling Act, PA 110 of 2006, MCL 125.3101, et seq. Pursuant to Section 9 of the Allendale Charter Township Planning Commission Bylaws and Rules of Procedure, we present the following report regarding the structure and operations of the Planning Commission, the status of planning activities as well as other pertinent actions of the Planning Commission.

Membership & Meetings

Membership of the Planning Commission

- Mark Adams
- Todd Bronson
- Joe Jacquot
- Ray Nadda
- Bruce Zeinstra
- Tom Zuniga
- Rick Westerling

Officers of the Planning Commission

- Chairperson – Mark Adams
- Vice Chairperson – Ray Nada
- Secretary – Tom Zuniga

Meetings & Meeting Attendance

Regular Meetings: 21

Special Meetings: 0

Term ending 2023

- Nadda: 15
- Zeinstra: 17
- Zuniga: 18
- Adams: 18
- Westerling: 15
- Jacquot: 15
- Bronson: 6

Partial term

- Longcore: 2
- Chapla: 2

Operations & Activity

Procedural Approvals and Documents

- Elected Officers of the Planning Commission
- 2023 Annual Work Program
- 2022 Annual Report

Site Plan Approvals

- Allendale Christian School – Minor amendment building addition
- Polymer Packaging – Building addition
- NB Outlet – Parking lot expansion
- Brark Industries – parking lot expansion
- Tommy's Express – Minor amendment
- Walgreens PUD – Major amendment for The Raymond Building

Site Condominium Recommendations

- Hidden Shores West Phase 4

Plat Recommendations

- Emerald Springs Tentative Preliminary Plat – Phase 1

Site Plan Denials, Suspensions, or Withdrawals

- None

Special Use Approvals

- John Bakale – Mining operation
- Rusk Lake Associates – Mining operation
- Emerald Springs – Private road and minor PUD amendments
- Great Lakes Excavating Service – Mining operation major amendment to 5015 Warner Street
- JMM Developers – Mining operation major amendment to 11910 and 12084 46th Avenue
- Allendale Christian School – building addition

Special Use Denials, Suspensions, or Withdrawals

- None

Zoning Map & Text Amendment Recommendations of Approval

- Map (Rezone)
 - None
- Text
 - Zoning Ordinance

- None
- Subdivision Ordinance
 - None

Zoning Map & Text Amendment Recommendations of Denial

- Map (Rezone)
 - None
- Text
 - None

Other Amendments, Approvals, or Reviews

- Hidden Shores West Annual Mining Report
- Great Lakes Excavating Service Annual Mining Report
- JMM Developers Annual Mining Report

General Recommendations & Inquiries

- No general recommendations or inquiries are provided with this Report.



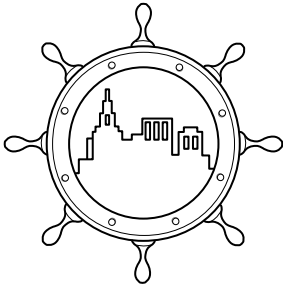
Mark Adams, Chairperson
Allendale Charter Township Planning Commission

Allendale Charter Township Planning Commission – 2024 Work Program

Adopted: December 18, 2023

Revised: _____

1. Revise Planned Unit Development ownership language
2. Consider whether language is needed to allow Short Term Rentals in residential zoning districts
3. Revise and clarify the requirements which trigger site plan review and major and minor amendments to an approved site plan
4. Examine means to improve ground water quality
5. Non-Motorized Pathway 2015 amendment to Section 24.06C1
6. Review the Zoning Ordinance to revise those sections in the Ordinance that allow certain discretionary decisions by the Zoning Administrator
7. Differentiate farm use versus special uses within the Agricultural and Rural Zoning District
8. Easements serving up to two lots



Fresh Coast Planning

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Alexis Sorrell
616-773-4638
alexis@freshcoastplanning.com

MEMORANDUM

To: Allendale Charter Township Board of Trustees
From: Gregory L. Ransford, MPA 
Date: December 18, 2023
Re: Walgreens Planned Unit Development Major Amendment – The Raymond Building

Pursuant to Article 12 – Planned Unit Development District of the Allendale Charter Township Zoning Ordinance (ACTZO), attached is a Final Planned Unit Development (PUD) and Final Site Plan from Nederveld to amend the Walgreens PUD for the purpose of constructing The Raymond Building and modifying the allowed uses on Parcel C of the PUD. As you know, Walgreens and Mr. Burger, the latter of which is under construction, are the only two buildings currently within the PUD. The proposed Raymond Building would be located on Parcel C, south of the Walgreens building. The Raymond Building is proposed to be constructed at approximately 6,380 square feet and contain three tenants, one of which would possess a drive-through.

The Board of Trustees is the approving body of any PUD or major PUD amendment. Given this, the application to amend the Walgreens PUD is scheduled for your review.

Planning Commission Action

The Allendale Charter Township Planning Commission (ACTPC) reviewed the Final PUD Site Plan at their December 4, 2023 meeting, as well as conducted a public hearing. While public comments were limited, lengthy discussion was held between the Planning Commission, the applicant, and the ownership group from Mr. Burger regarding the proposed uses with the amendment.

PUD Ownership

The primary concern of the public comments centered around the authority to amend the PUD since there are three owners within the PUD. As you likely know from an opinion provided by the Township Attorney, the applicant should either provide evidence that he has retained authority to amend the PUD or provide written permission from the other two owners (Walgreens and Mr. Burger) expressing their support for the amendment. As of the date of the public hearing before the Planning Commission, support from Walgreens and Mr. Burger were not provided.

That said, during the discussions with the ownership group of Mr. Burger, the uses requested by the applicant have been reduced or modified in an effort to receive the support of Mr. Burger. The site plans before you as well as the public hearing notice for your meeting have been modified accordingly.

Recommendation

The ACTPC provided a recommendation of approval of the Final PUD Site Plan through the attached resolution by a vote of 6-0. The resolution is drafted to be adopted by the Allendale Charter Township Board of Trustees (ACTBT). As you will note, a couple placeholders exist within the conditions portion of the resolution in the instance the ACTBT desires additional conditions.

Board of Trustees Responsibilities

Review Procedure

Pursuant to Section 12.07E – Procedures, Step 5 Township Board Action and Public Hearing of the ACTZO, the ACTBT shall review the Final PUD Site Plan, the related PUD site plan resolution, as well as the proceedings and recommendation of the Planning Commission. The ACTBT shall make its findings based on the PUD standards for approval provided in Section 12.08 of the ACTZO. For your convenience, below is a copy of Section 12.08 as we provided it to the ACTPC.

Planned Unit Development Standards for Approval

As you are aware, Section 12.08 – Standards for Approval of the Allendale Charter Township Zoning Ordinance (ACTZO) provides your standards of review when deliberating regarding a PUD site plan application. It is worth noting that a major amendment to an existing PUD, such as the proposed, shall be processed in the same manner as an original PUD application except that the PUD zoning shall remain in place. In that regard, below is a copy of said Standards of Approval as well as our response to each in italic font in an effort to assist you with your review of the request.

Section 12.08 STANDARDS FOR APPROVAL

A PUD shall be approved only if it complies with each of the following standards as applicable.

- A. The PUD complies with all qualifying conditions of this PUD ordinance.

Section 12.03 of the ACTZO provides for two (2) qualifying conditions: Minimum Size and Common Ownership. The minimum size required for a PUD is three (3) acres unless the Board of Trustees approves a lesser acreage by finding the proposed project satisfies one or more standards. While the proposed parcel is only 1.21 acres, it was included in the original 2007 Walgreen's PUD approval, which includes the parcels immediately to the north and northwest, ultimately exceeding three (3) acres in area.

In regard to the qualifying condition concerning Common Ownership, as we have previously noted the objection from Mr. Christopoulos and pending your discussion with Attorney Sullivan, this standard may not be met.

- B. The uses to be conducted within the PUD are substantially consistent with the Allendale Charter Township Master Plan OR based on the design of the PUD and the conditions imposed, the proposed uses are appropriate for the proposed location and are not likely to affect the recommendations of the Master Plan for the larger area where the PUD is to be located.

The subject property is master planned with the General Commercial classification, which is consistent with the General Commercial Zoning District. As submitted by the applicant, the uses proposed are derived from the General Commercial Zoning District. Given this and your previous review of the proposed uses, it appears this standard has been met. However, we recommend that the Planning Commission condition the proposed uses on the approval from the Walgreens PUD ownership.

- C. The PUD is compatible with surrounding uses of property and the natural environment.

As aforementioned, given the proposed uses are from the General Commercial Zoning District and considering your support of the proposed uses, it appears the amendment is compatible with the surrounding uses of property and the natural environment. Pending comments received at the public hearing, we anticipate that this standard will be met.

- D. The PUD will not result in significant adverse effects upon nearby or adjacent lands and will not significantly change the essential character of the surrounding area.

Pending comments received at the public hearing and given the objection of Mr. Christopoulos, we believe this standard may not be met.

- E. The proposed development is consistent with the spirit of the PUD District, as described in this Article and represents an opportunity for improved or innovative development for the community that could not be achieved through conventional zoning.

Based upon your preliminary review findings, it appears that this standard has been met.

- F. The PUD preserves and maintains mature woodlands, fields, pastures, meadows and creates sufficient buffer areas to minimize conflicts between residential and agricultural uses.

The PUD preserves the existing buffer along the southern and southwestern portion of the property, and additional buffer landscaping will be included in the development as well. Pending comments received at the public hearing, it appears this standard has been met.

- G. The individual lots, buildings, roadways, and open space areas within the PUD are designed to minimize the alteration of environmental site features.

The proposed development appears to be designed to minimally impact the existing topographic site features. As a result, it appears that this standard has been met.

- H. The PUD can be adequately served by public utilities such as police and fire protection or public or on-site community water or sanitary sewer.

Given that all relevant Township Departments did not express any concerns in these regards and given that public water and sanitary sewer is proposed within the project, it appears that this standard has been met.

- I. If the PUD is to be completed in phases, the PUD shall be designed so that each phase is complete in and of itself, in terms of services, facilities and open spaces, and so that each phase contains all the features necessary to ensure the protection of natural resources and the health, safety, and welfare of the users of the PUD and the occupants of the surrounding area.

While the proposed overall Walgreens PUD development indicates there may be a future building at the south end the Mr. Burger property of approximately 8,250 square feet, no elevations, floor plan, or other related details were previously provided for your review. Therefore, and as you know, if the owner of said property decides to proceed with the construction of the future building, they will need to return to the Planning Commission and provide the documentation required for site plan review. However, in the event the applicant decides not to proceed with construction of the future building, the previous site layout contains all of the features necessary to meet the requirements of the ACTZO. As a result, it appears this standard has been met.

Public Hearing

Pursuant to the ACTZO and the Michigan Zoning Enabling Act, Act 110 of 2006, as amended, the ACTBT shall hold a public hearing regarding the request. A public hearing has been scheduled for your January 8, 2024 meeting. Typically, a first and second reading is necessary for the related Zoning Map Amendment Ordinance. However, since the PUD District already exists for the subject property, no amendment to the zoning map or related readings are required.

Conditions of Approval

As a part of this process, the ACTBT can impose reasonable conditions upon its approval of the PUD pursuant to Section 12.07E3 of the ACTZO. A copy of said section is below for your convenience.

Section 12.07E3. The Township Board may impose reasonable conditions upon its approval of the PUD. Such condition may include conditions necessary to ensure that public services and facilities affected by the PUD will be capable of accommodating increased service and facility loads caused by the property use or activity, to protect the natural environment and conserve natural resources and energy, to ensure compatibility with adjacent uses of land, and to promote the use of property in a socially and economically desirable manner.

Resolution

As aforementioned, the ACTPC recommended the attached resolution for adoption by the Board of Trustees. The resolution has been modified to reflect the change in uses proposed.

If you have any questions, please let us know.

GLR
Planner

Attachments

REQUESTED ALLOWABLE LIST USES FOR PARCEL C OF THE WALGREEN'S PUD:

- A. Any generally recognized retail business that supplies non-food commodities on the premises within a completely enclosed building.
- B. Personal service establishments conducting services on the premises, such as barber and beauty shops, shoe repair, tailoring and dry cleaning, health and fitness establishments, and other similar uses.
- C. Office uses.
- D. Medical, optical, dental, chiropractic, physical therapy and similar clinics and services.
- E. Banks, credit unions, and similar financial businesses, including those with drive-through facilities.
- F. Coin operated laundries.
- G. Dancing, art and music studios.
- H. Libraries, museums, public parks and similar public uses.
- I. Catering establishments.
- J. Retail building supply and equipment stores provided there is no outdoor storage or display of merchandise.
- K. Retail nurseries and garden centers provided there is no outdoor storage or display of merchandise.
- L. Pet shop including grooming services.
- M. Establishments serving alcoholic beverages including establishments which make and sell their own alcoholic beverages on site. No live music is permitted. Selling of food is prohibited.
- N. Shops or stores for carrying on the trade of electricians, decorators, painters, upholsterers, photographers, similar artisans except metal workers.
- O. Funeral home/Mortuary.
- P. The repair or assembly of products sold by an allowable use from this list, provided the repair or assembly does not constitute the principal use and all such work is performed inside. Repair of motorized vehicles is prohibited.
- Q. Utility and public service buildings including fire and police stations without storage yards.

SCHEDULE B - SECTION II NOTES

- 5 Easement granted to Ottawa County Drain Commissioner as recorded in Liber 1355, Page 972, Ottawa County Records. The approximate location of the easement described in this document is shown on this survey.
- 6 Easement granted to Ottawa County Drain Commissioner as recorded in Liber 1355, Page 974, Ottawa County Records. The approximate location of the easement described in this document is shown on this survey.
- 7 Easement granted to Ottawa County Drain Commissioner as recorded in Liber 1366, Page 68, Ottawa County Records. The easement described in this document is shown on this survey.
- 8 Terms, conditions, reservations and provisions which are recited in Utility Easement recorded in Liber 5412, Page 391, Ottawa County Records. The easement described in this document is shown on this survey.
- 9 Terms, conditions, reservations and provisions which are recited in Bicycle Path and Walkway Easement recorded in Liber 5412, Page 394, Ottawa County Records. The easement "B" described in this document is shown on this survey.
- 10 Terms, conditions, reservations and provisions which are recited in Underground Sanitary Lateral Easement Declaration recorded in Liber 5455, Page 596, Ottawa County Records. The easement described in this document is shown on this survey.
- 11 Easement granted to Consumers Energy Company disclosed by instrument recorded in Liber 5456, Page 503, Ottawa County Records. Said easement is not on, does not touch, and/or - based on the description contained in the record document - does not affect the surveyed property.
- 12 Terms, conditions, reservations and provisions which are recited in Agreement for the Establishment of a County Drain and County Drainage District recorded in Liber 5464, Page 224, Ottawa County Records. The drain route described in this document is shown on this survey.
- 13 Terms, conditions, reservations and provisions which are recited in Declaration of Reciprocal Easement recorded in Liber 5515, Page 354 and Restatement of Amendment to Declaration of Reciprocal Easement recorded in Liber 5537, Page 340, Ottawa County Records. The approximate location easement described in this document is shown on this survey.

LEGEND

- Catch Basin - Square
- Control Point/ Benchmark
- Cable Riser
- Deciduous Tree
- Evergreen Tree
- Guy Anchor
- Hydrant
- Iron-Found
- Post
- Utility Pole
- Sign
- Stop Sign
- Sanitary Manhole
- Storm Manhole
- Water Valve
- Overhead Utility
- Tree Line
- Asphalt
- Existing Building
- Concrete

TITLE INFORMATION

The Title Description and Schedule B items hereon are from River Valley Title Commitment dated May 14, 2021.

TITLE DESCRIPTION

The land referred to in this Commitment is described as follows:

That part of the Northwest 1/4 of Section 27, Town 7 North, Range 14 West, Allendale Township, Ottawa County, Michigan, described as: Commencing at the North 1/4 corner of Section 27; thence South 00 degrees 33 minutes 03 seconds East 418.52 feet along the East line of said Northwest 1/4; thence North 89 degrees 04 minutes 57 seconds West 33.01 feet to the Westerly line of 68th Avenue and the Place of Beginning of this description; thence South 00 degrees 33 minutes 03 seconds East 141.00 feet along said Westerly line; thence South 84 degrees 44 minutes 53 seconds West 320.08 feet; thence North 00 degrees 33 minutes 03 seconds West 183.11 feet; thence North 89 degrees 26 minutes 57 seconds East 120.72 feet; thence South 85 degrees 58 minutes 16 seconds East 198.92 feet to the Place of Beginning.

SURVEYOR'S NOTES

- 1) Flood Zone Classification: An examination of the National Flood Insurance Program's Flood Insurance Rate Map for Community Number 26139 C, Panel Number 0230 E, with an Effective Date of 12/16/2011, shows that the panel is not printed with no special flood areas. No field surveying was performed to determine this zone.
- 2) Lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, the client is advised that excavation may be necessary.
- 3) NOTE TO CONTRACTORS: 3 (THREE) WORKING DAYS BEFORE YOU DIG, CALL MISS DIG AT TOLL FREE 1-800-482-7171 FOR UTILITY LOCATIONS ON THE GROUND.

BENCHMARKS

BENCHMARK #281 ELEV. = 653.75 (NGVD29)
Top of the Southwest flange bolt (under "USA") on the hydrant located 140'± South of the centerline of Lake Michigan Drive and 68'± West of Walgreens.

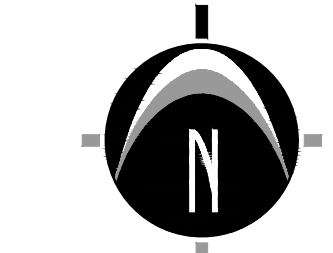
BENCHMARK #283 ELEV. = 653.82 (NGVD29)
Set benchmark on the top of the Northwest flange bolt (under "USA") on the hydrant located 13'± South of Walgreens and 124'± West of the centerline of 68th Avenue.

BENCHMARK #285 ELEV. = 650.58 (NGVD29)
Set benchmark on the top of the Northeast flange bolt (under the "N" in "E.S.N") on the hydrant located 43'± East of the centerline of 68th Avenue and 25'± North of the centerline of the drive to the parking lot for Allendale Commercial Park.



LOCATION MAP

NOT TO SCALE



0' 10' 20' 40'
SCALE: 1" = 20'

REMOVAL / DEMOLITION NOTES

- 1) THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES AT LEAST THREE WEEKS PRIOR TO THE BEGINNING OF CONSTRUCTION OPERATIONS. THERE ARE EXISTING UNDERGROUND UTILITIES WHICH CROSS THE PROPOSED REPLACEMENT WORK AREAS. ALTHOUGH THEIR EXACT LOCATION CANNOT BE DETERMINED, IT IS KNOWN THESE UTILITIES ARE LOCATED WHERE DIGGING IS REQUIRED. THE CONTRACTOR SHALL CONDUCT THE REQUIRED EXCAVATION IN THESE AREAS WITH EXTREME CAUTION.
- 2) ALL EXISTING UTILITY INFORMATION SHOWN IS TAKEN FROM EXISTING RECORDS, AND FIELD VERIFIED WHERE ACCESSIBLE ONLY. INFORMATION OBTAINED FROM EXISTING RECORDS MAY NOT BE COMPLETE OR ACCURATE. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. THE CONTRACTOR SHALL FIELD VERIFY FOR ACCURACY, LOCATION AND CONDITION.
- 3) BEFORE ANY WORK IS STARTED ON THE PROJECT AND AGAIN BEFORE FINAL ACCEPTANCE BY THE CITY AND BY THE OWNER, REPRESENTATIVES OF THE CITY, THE OWNER AND THE CONTRACTOR SHALL MAKE AN INSPECTION OF THE EXISTING SEWERS WITHIN THE WORK LIMITS WHICH ARE TO REMAIN IN SERVICE AND WHICH MAY BE AFFECTED BY THE WORK. THE CONDITION OF THE EXISTING UTILITIES AND THEIR APPURTENANCES SHALL BE DETERMINED FROM FIELD OBSERVATIONS AND EXISTING VIDEO TAPES. RECORDS OF THE INSPECTIONS SHALL BE KEPT IN WRITING BY THE CONTRACTOR.
- 4) THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION WORK.
- 5) ALL EXISTING UTILITIES, SEWERS AND WATER LINES ARE TO REMAIN UNDISTURBED UNLESS OTHERWISE NOTED ON THE PLANS. THE CONTRACTOR SHALL CONTACT AND COORDINATE WITH ALL APPLICABLE UTILITY COMPANIES, MUNICIPALITIES AND AGENCIES BEFORE COMMENCING ANY WORK.
- 6) THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING POLES, OVERHEAD WIRES, UNDERGROUND UTILITIES, GUY WIRES, GAS LINES, ETC. ALL ADJUSTMENT OR RECONSTRUCTION WORK, EXCEPT FOR THOSE STRUCTURES OTHERWISE NOTED ON THE PLANS, SHALL BE PERFORMED BY THE CONTRACTOR. EXISTING APPURTENANCES SUCH AS UTILITY POLES AND VALVES BOX SHALL NOT BE DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION.
- 7) THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITY SERVICE TO ALL ADJOINING PROPERTIES.
- 8) ALL DEBRIS SHALL BE REMOVED FROM THE SITE, AND NO STOCKPILING ON SITE SHALL BE ALLOWED UNLESS APPROVED BY THE OWNER OR THEIR REPRESENTATIVES.
- 9) THE CONTRACTOR SHALL LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE REQUIRED OR AS SHOWN. ALL PAVEMENTS TO BE REMOVED SHALL BE SAWCUT AND REMOVED TO FULL DEPTH AT ALL PAVEMENT LIMITS OR EXISTING JOINTS. IF ANY DAMAGE IS INCURRED TO ANY OF THE SURROUNDING PAVEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR AT NO ADDITIONAL COST TO ANYONE ELSE, INCLUDING THE CITY OR OWNER.
- 10) ASPHALT AREAS SHOWN TO BE SAWCUT AND REMOVED FULL DEPTH ARE ACTUAL FACE OF PROPOSED CURBS. IT WILL BE NECESSARY TO MAKE OFF-SET SAWCUTS TO PROVIDE CLEARANCE FOR PROPOSED CURBS. THE CONTRACTOR SHALL DETERMINE THE AMOUNT OF OFF-SET NECESSARY TO CONSTRUCT THE PROPOSED CURBS. ADDITIONAL CUTS MAY BE DESIRED TO FACILITATE THE REMOVAL OF THE EXISTING PAVEMENT, BUT THERE WILL BE NO EXTRA PAYMENT FOR ADDITIONAL CUTS. PAVEMENT SHALL BE REMOVED WITHOUT DAMAGING OR UNDERMINING THE REMAINING PAVEMENT. IF ADJACENT PAVEMENT IS DAMAGED, THE CONTRACTOR SHALL MAKE ADDITIONAL FULL DEPTH SAWCUTS AND REMOVE THE DAMAGE AREAS AS NECESSARY.
- 11) ALL PAVEMENT REMOVAL AREAS SHALL BE FULL PAVEMENT CROSS-SECTION REMOVAL DOWN TO NATIVE SOIL LAYER IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- 12) ALL TREES AND VEGETATION WITHIN THE GRADING LIMITS SHALL BE REMOVED UNLESS OTHERWISE NOTED.

REMOVAL / DEMOLITION NOTES

- ◇ REMOVE EXISTING TREES/VEGETATION AS NECESSARY. PRESERVE ALL VEGETATION/TREES ON THE SOUTH END OF PROPERTY.
- ◇ REMOVE EXISTING POST.
- ◇ SAWCUT, REMOVE, AND REPLACE EXISTING EDGE OF ASPHALT AS NECESSARY TO PROVIDE SMOOTH TRANSITION BETWEEN EXISTING AND PROPOSED PAVEMENT.



UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

NEDERVELD

www.nederveld.com
800.222.1868

GRAND RAPIDS
217 Grandville Ave., Suite 302
Grand Rapids, MI 49503
Phone: 616.575.5190

ANN ARBOR
CHICAGO
COLUMBUS
HOLLAND
INDIANAPOLIS

PREPARED FOR:

DeJong Leasing, LLC
Attention: Greg DeJong

3083 Washington Ave SW
Grandville, MI 49418
Phone: 616.538.9460

REVISIONS:

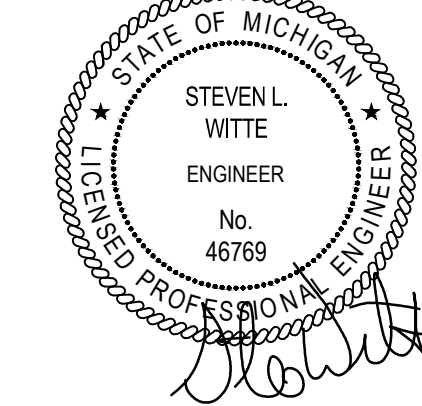
Title: Preliminary Site Plan	Drawn: SW	Checked: SW	Date: 09/03/23
Title: Site Plan	Drawn: SW	Checked: SW	Date: 09/15/23
Title: Site Plan Submittal to Township	Drawn: SW	Checked: SW	Date: 09/22/23
Title: Revised Per Staff Comments	Drawn: SW	Checked: SW	Date: 10/10/23
Title: Revised Per Planning Commission Comments	Drawn: SW	Checked: SW	Date: 10/17/23
Title: Revised Per List of Possible Uses	Drawn: SW	Checked: SW	Date: 11/14/23
Title: Per Planning Commission Recommendation	Drawn: SW	Checked: SW	Date: 12/05/23

The Raymond Building

Existing Conditions and Demolition Plan

11145 68th Avenue
PART OF THE NORTHWEST 1/4 OF SECTION 27, T7N, R14W,
ALLENDALE TOWNSHIP, OTTAWA COUNTY, MICHIGAN

STAMP:



PROJECT NO:

21201161

SHEET NO:

C-201

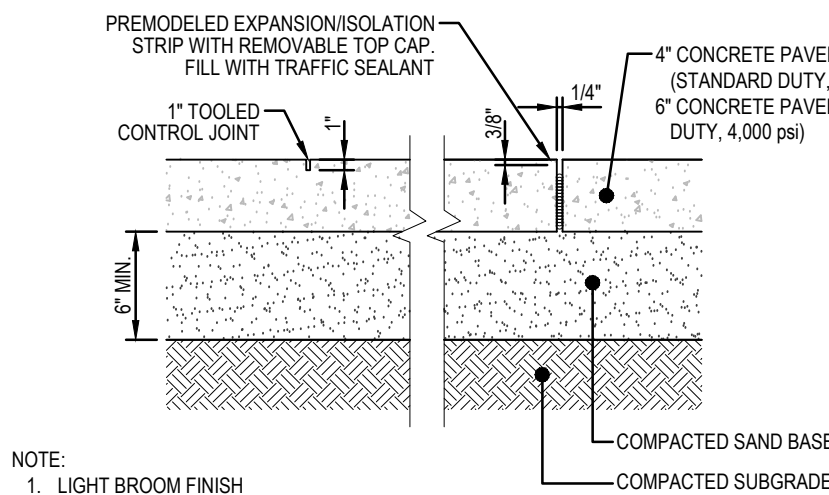
SHEET: 1 OF 6



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NOTE:
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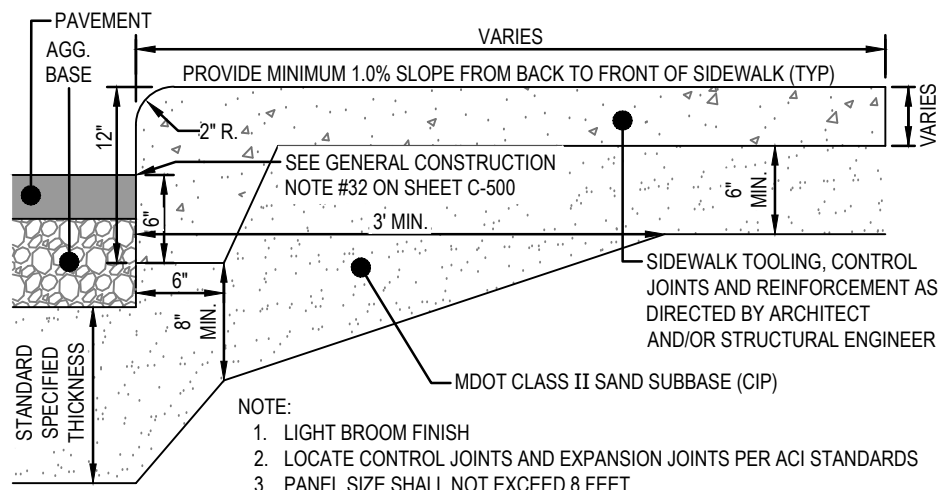


NOTE:

1. LIGHT BROOM FINISH
2. LOCATE CONTROL JOINTS AND EXPANSION JOINTS PER ACI STANDARDS
3. PANEL SIZE SHALL NOT EXCEED 8 FEET
4. PANELS SHALL BE KEPT AS SQUARE AS POSSIBLE WITH THE LENGTH NEVER EXCEEDING 1.25X THE WIDTH
5. AIR ENTRAINMENT - 7% ± 1%
6. SLUMP 4"±1"

CONCRETE PAVEMENT DETAIL

N.T.S.

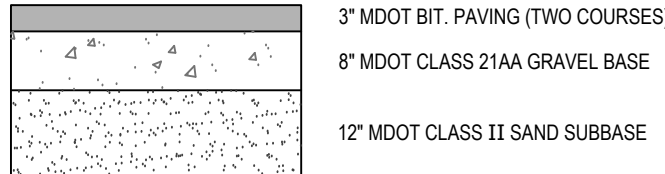


NOTE:

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2. LOCATE CONTROL JOINTS AND EXPANSION JOINTS PER ACI STANDARDS
3. PANEL SIZE SHALL NOT EXCEED 6 FEET
4. PANELS SHALL BE KEPT AS SQUARE AS POSSIBLE WITH THE LENGTH NEVER EXCEEDING 1.25X THE WIDTH
5. AIR ENTRAINMENT - 7% ± 1%
6. SLUMP 4"±1"

INTEGRAL CURB AND WALK DETAIL

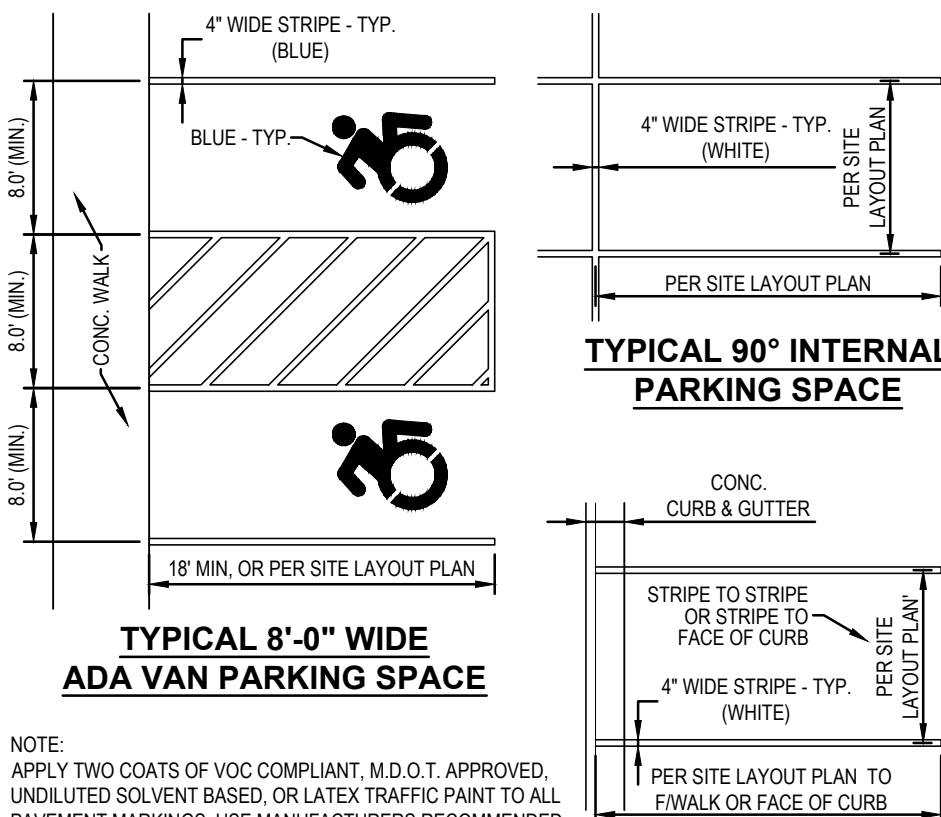
N.T.S.



- NOTE:
1. REFER TO GEOTECHNICAL REPORT FOR FINAL PAVEMENT DESIGN SPECIFICATION
 2. HMA MIXTURE TO BE TIER I OR TIER II
 3. BINDER GRADE TO BE A MINIMUM OF PG 58-28

STANDARD DUTY BITUMINOUS PAVEMENT CROSS SECTION DETAIL

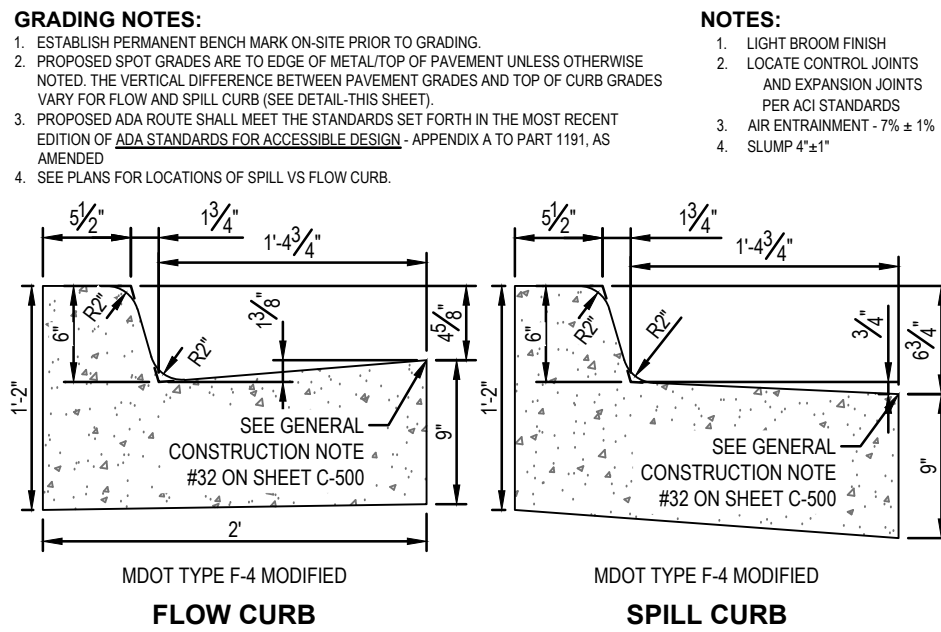
N.T.S.



NOTE:
APPLY TWO COATS OF VOC COMPLIANT, M.D.T. APPROVED, UNDILUTED SOLVENT BASED, OR LATEX TRAFFIC PAINT TO ALL PAVEMENT MARKINGS. USE MANUFACTURERS RECOMMENDED APPLICATION RATE, WITHOUT ADDITION OF THINNER, WITH A MAXIMUM OF 100 SF PER GALLON, OR MINIMUM 15 MILS WET FILM THICKNESS, AND 7.5 MILS DRY FILM THICKNESS PER COAT. WITH MINIMUM 30 DAYS BETWEEN APPLICATIONS. SECOND COAT MUST NOT BE APPLIED EARLIER THAN 7 DAYS BEFORE OCCUPANCY.

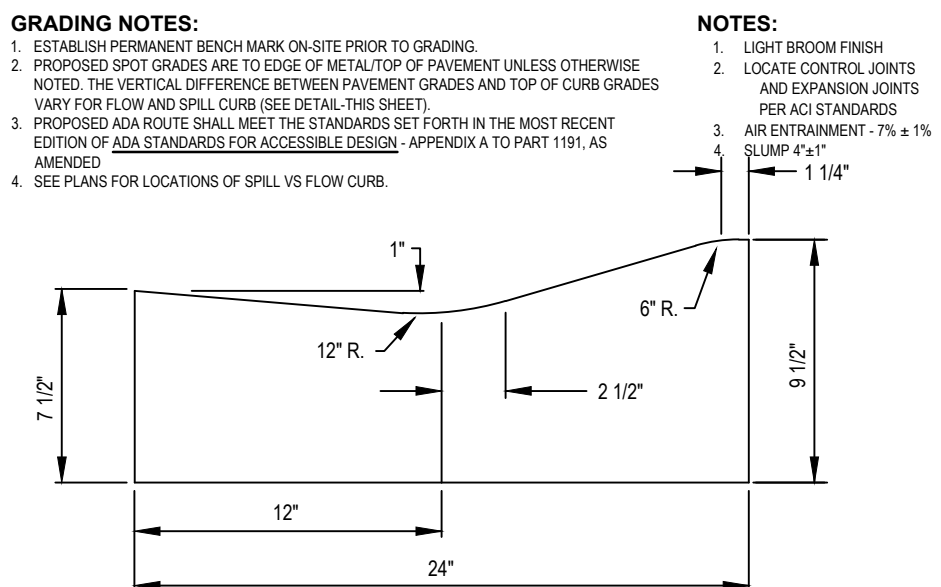
PARKING SPACE MARKING DETAILS

N.T.S.



24" CONCRETE CURB AND GUTTER DETAIL

N.T.S.

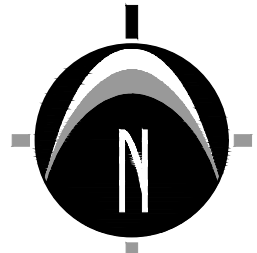


24" CONCRETE CURB DETAIL

N.T.S.

LEGEND

- EXISTING BITUMINOUS
- EXISTING CONCRETE
- PROPOSED BITUMINOUS
- PROPOSED CONCRETE
- PROPOSED BUILDING



LOCATION MAP

NOT TO SCALE



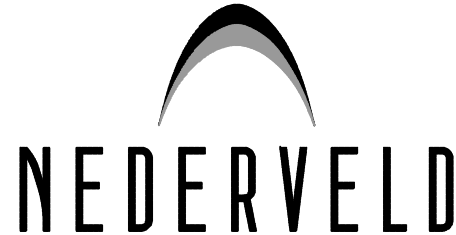
GENERAL NOTES

- 1) ZONING OF PROPERTY: WALGREEN'S PUD (ASSUMING IT FOLLOWS GC - GENERAL COMMERCIAL) NORMAL GC ZONING REQUIREMENTS:
MINIMUM LOT AREA = 22,500 SF
MINIMUM LOT WIDTH = 150 FT (200 FT FOR DRIVE THROUGH FACILITIES)
IT IS REQUESTED THAT THE TOWNSHIP OFFER RELIEF FROM THE 200 FT LOT WIDTH REQUIREMENT AS PART OF THE P.U.D. AMENDMENT PROCESS FOR THIS LOT PARCEL.
MAXIMUM LOT COVERAGE = NOT APPLICABLE
MINIMUM ALLOWED BUILDING SETBACKS:
FRONT YARD = 25 FT
SIDE YARD = 15 FT (ABUTTING RESIDENTIAL; OTHERWISE 0 FT)
REAR YARD = 25 FT (ABUTTING RESIDENTIAL; OTHERWISE 5 FT)
- 2) SUMMARY OF LAND USE:
A) TOTAL ACREAGE = APPROXIMATELY 1.21 ACRES (APPROX. 52,654 SF) (EXCLUDING R.O.W.)
B) AREA OF NEW BUILDING = APPROXIMATELY 6,444 SF
C) AREA OF NEW ASPHALT AND CONCRETE = APPROXIMATELY 27,320 SF
D) LOT COVERAGE = APPROX. 12.2% (BUILDING); APPROX. 64.1% (BUILDING & PAVEMENT)
E) THE BUILDING WILL BE USED AS COMMERCIAL/OFFICE TENANT SPACE, WITH A DRIVE THRU.
F) ZONING OF SURROUNDING PARCELS = P.U.D. TO WEST AND NORTH
= G-C TO EAST
= R-1 TO SOUTH
- 3) PARKING REQUIREMENTS:
A) TYPICAL PARKING SPACE = 9'x18' (26 FT. AISLES)
B) TYPICAL BARRIER FREE SPACE = 8'x18' (8' WIDE AISLE FOR VAN ACCESSIBLE)
C) NUMBER OF SPACES REQUIRED = 45 +/-
RESTAURANT = 20 (BASED ON 1 PER 50 SF UFA, PLUS 1 PER 3 EMPLOYEES; MIN. 40)
MEDICAL OFFICE = 19 (BASED ON 4 PER DOCTOR PLUS 1 PER EMPLOYEE (2 DOCTORS + 11 EMPLOYEES+/-)
MIDDLE TENANT = 6 (BASED ON 1 PER 300 SF (OFFICE) (1,540 SF GROSS)
D) NUMBER OF SPACES PROVIDED = 46
E) MINIMUM REQUIRED PARKING SETBACKS = 25 FT IN FRONT YARD
= 30 FT IN SIDE AND REAR YARDS ABUTTING RESIDENTIAL (15 FT OF 30 FT IN SIDE/REAR YARD IS GREENBELT)
F) RAISED CURBING IS REQUIRED ALONG THE PERIMETER OF THE PAVED AREAS.
- 4) THIS PROJECT IS IN AN AREA THAT PARTICIPATES IN THE NATIONAL FLOOD INSURANCE PROGRAM. HOWEVER, NO FLOOD PLAIN MAPS ARE AVAILABLE AT THIS TIME.
- 5) SIGNAGE SHALL COMPLY WITH THE STANDARDS AND SPECIFICATIONS OF ARTICLE 22 OF THE ALLENDALE TOWNSHIP ZONING ORDINANCE AND WITH SECTION J OF ORDINANCE 2007.4 REGARDING THE WALGREENS PUD. A SEPARATE SIGN PERMIT WILL BE SUBMITTED FOR AND OBTAINED FOR THE SIGNAGE AT THE SITE.
FREE STANDING SIGN: ONE GROUND MOUNTED SIGN IS ALLOWED AND PROPOSED.
MAXIMUM AREA = GROUND MOUNTED = 50 SF (ONE BUSINESS, 100 SF MULTIPLE BUSINESSES)
MINIMUM SETBACK = GROUND MOUNTED = 10 FT
MAXIMUM HEIGHT = GROUND SIGN = 10 FT
WALL SIGN: 125 SF PLUS 0.5 SF FOR EACH LINEAL FOOT OF BUILDING LENGTH IN EXCESS OF 100 FT.
- 6) BEST MANAGEMENT PRACTICES WILL BE UTILIZED DURING AND AFTER CONSTRUCTION OF THE PROJECT. MEASURES WILL INCLUDE THE USE OF SEEDING AND MULCHING, SEDIMENT INLET FILTERS, COMPACTION AND PAVING. THE OWNER OF THE SUBJECT PARCEL SHALL HAVE THE RESPONSIBILITY TO MAINTAIN THE PERMANENT SOIL EROSION PROTECTION MEASURES.
- 7) UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.
- 8) CONTRACTOR TO FIELD VERIFY ALL INVERTS.
- 9) ALL LIGHTING SHALL BE SHIELDED FROM ALL ADJACENT PROPERTIES. PROPOSED LIGHTING SHALL CONSIST OF WALL-MOUNTED LIGHTS AND LIGHT POLES, BOTH FITTED WITH SHOEBOX TYPE FIXTURES. THE MAXIMUM HEIGHT OF THE LIGHT FIXTURES SHALL BE 20 FT (THE PROPERTY TO THE SOUTH IS ZONED RESIDENTIAL).
- 10) THE PERMANENT PARCEL NUMBER FOR THE SITE IS 70-09-27-126-047.
THE ADDRESS OF THE PROPERTY IS 11145 68TH AVENUE.
- 11) THE PARCEL IS CURRENTLY VACANT.
- 12) NO FENCES OR WALLS OTHER THAN WHAT IS SHOWN ON THE SITE PLAN ARE PROPOSED AT THIS TIME.
- 13) LANDSCAPING SHALL COMPLY WITH THE STANDARDS AND SPECIFICATIONS OF THE ALLENDALE TOWNSHIP ZONING ORDINANCE.
- 14) AN UNDERGROUND IRRIGATION SYSTEM WILL BE PROVIDED PER SECTION 21A.03.E AND SECTION 24.05F. IN ALL GRASS AREAS, INCLUDING GRASSED LANDSCAPED ISLANDS.
- 15) REGIONAL STORM WATER DETENTION IS PROVIDED FOR THE OVERALL P.U.D. THE EXISTING STORM WATER HOLDING AREA IS DIRECTLY WEST OF THE PROPERTY.
THE DRAINAGE DESIGN IS SUBJECT TO THE REVIEW AND APPROVAL OF THE OTTAWA COUNTY WATER RESOURCES COMMISSION.
- 16) THE ARCHITECTURE OF THE NEW BUILDING WILL MEET THE REQUIREMENTS OF SECTION J OF THE ORDINANCE NO. 2007.4 REGARDING THE WALGREENS PUD.
- 17) ALL POWER LINES AND RELATED UTILITIES WILL BE BURIED PER SECTION 24.06F OF THE ZONING ORDINANCE.
- 18) ANY/ALL ROOFTOP EQUIPMENT WILL EITHER BE SCREENED OR NOT BE VISIBLE FROM THE ROADWAY PER THE WALGREENS PUD ORDINANCE, SECTION 4A.
- 19) THE VOLUME OF THE DRIVE THRU SPEAKER SHALL BE LIMITED TO A MAXIMUM OF 70 DECIBELS.
- 20) THE HOURS OF OPERATION SHALL BE LIMITED TO BETWEEN 6 AM AND 11 PM.
- 21) ALL SPRINKLED BUILDINGS ARE REQUIRED TO INSTALL A POST INDICATOR VALVE.
- 22) KNOX BOXES ARE REQUIRED FOR FIRE DEPARTMENT ACCESS. CONTRACTOR TO COORDINATE KNOX BOX LOCATION AND CONSTRUCTION WITH THE FIRE DEPARTMENT.
- 23) PER THE USDA SOIL SURVEY MAP INFORMATION, THE SITE SOIL IS PRIMARILY ALLENDALE SANDY LOAM AND GLADWIN SANDY LOAM.

LIST OF ALLOWABLE POSSIBLE USES FOR THE PARCEL:

REQUESTED ALLOWABLE LIST USES FOR PARCEL C OF THE WALGREEN'S PUD:

- A. Any generally recognized retail business that supplies non-food commodities on the premises within a completely enclosed building.
- B. Personal service establishments conducting services on the premises, such as barber and beauty shops, shoe repair, tailoring and dry cleaning, health and fitness establishments, and other similar uses.
- C. Office uses.
- D. Medical, optical, dental, chiropractic, physical therapy and similar clinics and services.
- E. Banks, credit unions, and similar financial businesses, including those with drive-through facilities.
- F. Coin operated laundries.
- G. Dancing, art and music studios.
- H. Libraries, museums, public parks and similar public uses.
- I. Catering establishments.
- J. Retail building supply and equipment stores provided there is no outdoor storage or display of merchandise.
- K. Retail nurseries and garden centers provided there is no outdoor storage or display of merchandise.
- L. Pet shop including grooming services.
- M. Establishments serving alcoholic beverages including establishments which make and sell their own alcoholic beverages on site. No live music is permitted. Selling of food is prohibited.
- N. Shops or stores for carrying on the trade of electricians, decorators, painters, upholsterers, photographers, similar artisans except metal workers.
- O. Funeral home/Mortuary.
- P. The repair or assembly of products sold by an allowable use from this list, provided the repair or assembly does not constitute the principal use and all such work is performed inside. Repair of motorized vehicles is prohibited.
- Q. Utility and public service buildings including fire and police stations without storage yards.



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GRAND RAPIDS

217 Grandville Ave., Suite 302
Grand Rapids, MI 49503
Phone: 616.575.5190

ANN ARBOR

CHICAGO

COLUMBUS

HOLLAND

INDIANAPOLIS

PREPARED FOR:

DeJong Leasing, LLC
Attention: Greg DeJong

3083 Washington Ave SW
Grandville, MI 49418
Phone: 616.538.9460

REVISIONS:

Title: Preliminary Site Plan	Drawn: SW	Checked: SW	Date: 09/03/23
Title: Site Plan	Drawn: SW	Checked: SW	Date: 09/15/23
Title: Site Plan Submittal to Township	Drawn: SW	Checked: SW	Date: 09/22/23
Title: Revised Per Staff Comments	Drawn: SW	Checked: SW	Date: 10/10/23
Title: Revised Per Planning Commission Comments	Drawn: SW	Checked: SW	Date: 10/17/23
Title: Revised Per List of Possible Uses	Drawn: SW	Checked: SW	Date: 11/14/23
Title: Revised Per Planning Commission Recommendation	Drawn: SW	Checked: SW	Date: 12/05/23

The Raymond Building

Site Layout Plan

11145 68th Avenue
PART OF THE NORTHWEST 1/4 OF SECTION 27, T1N, R14W,
ALLENDALE TOWNSHIP, OTTAWA COUNTY, MICHIGAN

STAMP:



PROJECT NO:

21201161

SHEET NO:

C-205

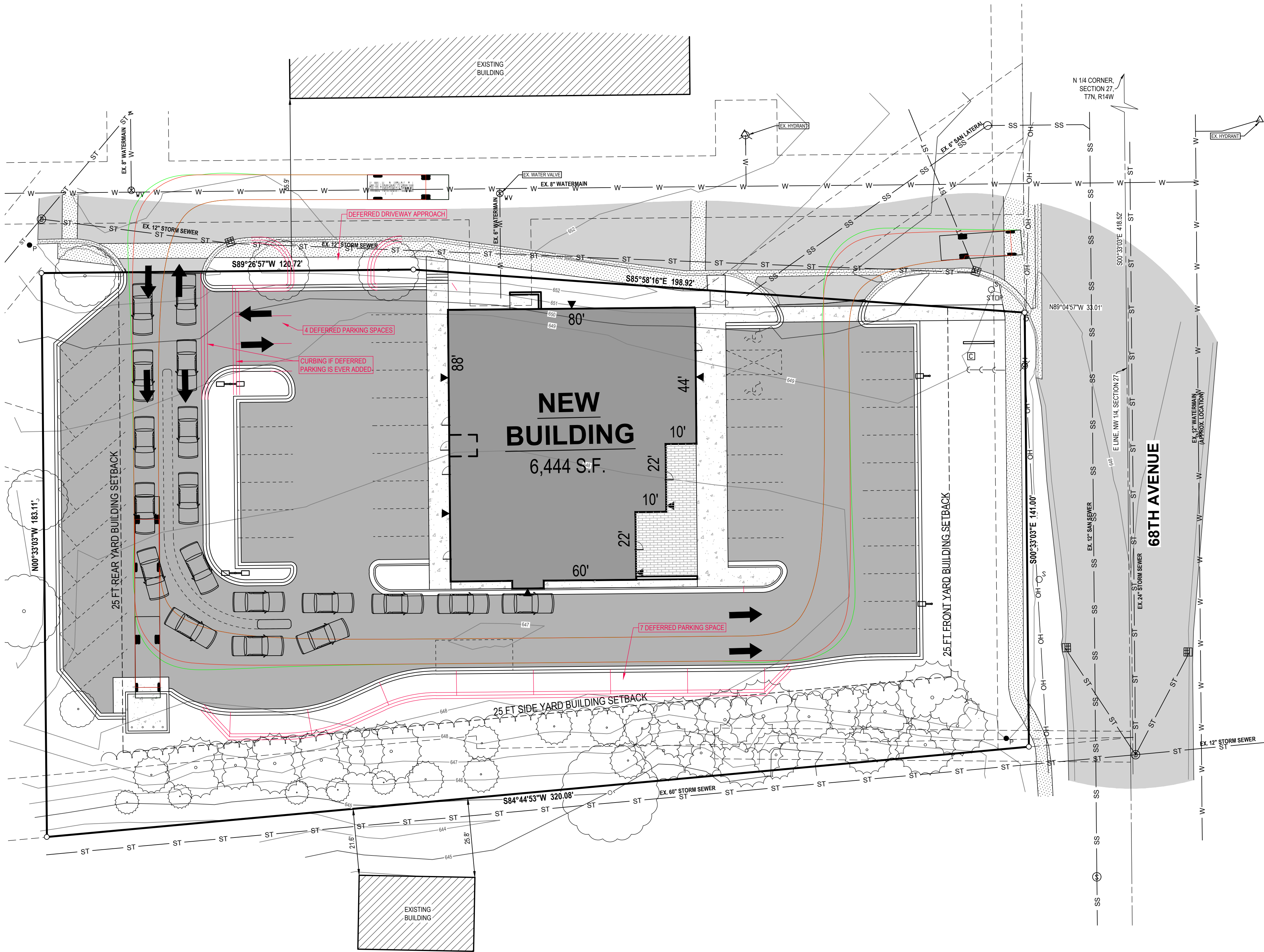
SHEET: 2 OF 6



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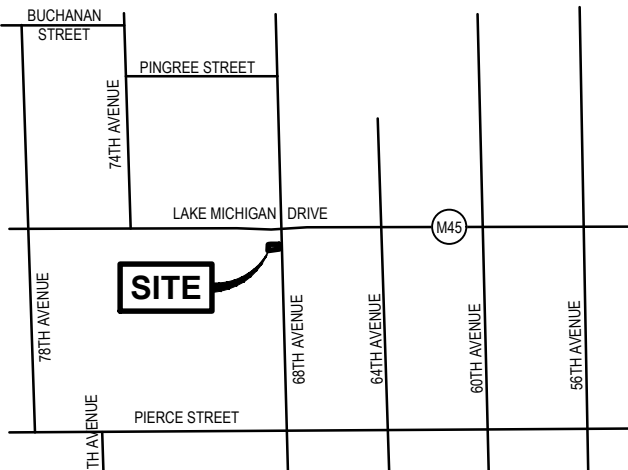


BENCHMARKS

BENCHMARK #281 ELEV. = 653.75 (NGVD29)
Top of the Southwest flange bolt (under "USA") on the hydrant located 140'± South of the centerline of Lake Michigan Drive and 68'± West of Walgreens.

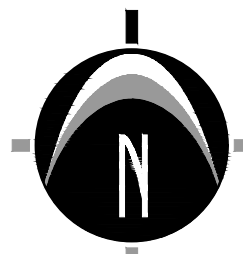
BENCHMARK #283 ELEV. = 653.82 (NGVD29)
Set benchmark on the top of the Northwest flange bolt (under "USA") on the hydrant located 13'± South of Walgreens and 124'± West of the centerline of 68th Avenue.

BENCHMARK #285 ELEV. = 650.58 (NGVD29)
Set benchmark on the top of the Northeast flange bolt (under the "N" in "E.S.N.") on the hydrant located 45'± East of the centerline of 68th Avenue and 25'± North of the centerline of the drive to the parking lot for Allendale Commercial Park.



LOCATION MAP

NOT TO SCALE



0' 10' 20' 40'
SCALE: 1" = 20'

LEGEND

- EXISTING BITUMINOUS
- EXISTING CONCRETE
- PROPOSED BITUMINOUS
- PROPOSED CONCRETE
- PROPOSED BUILDING



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Title: Revised Per List of Possible Uses	Drawn: SW	Checked: SW	Date: 11/14/23
Title: Per Planning Commission Recommendation	Drawn: SW	Checked: SW	Date: 12/05/23

The Raymond Building

Deferred Parking and Truck Turn Plan

11145 68th Avenue
PART OF THE NORTHWEST 1/4 OF SECTION 27, T7N, R14W,
ALLENDALE TOWNSHIP, OTTAWA COUNTY, MICHIGAN

STAMP:



PROJECT NO:

21201161

SHEET NO:

C-206

SHEET: 3 OF 6



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BENCHMARKS

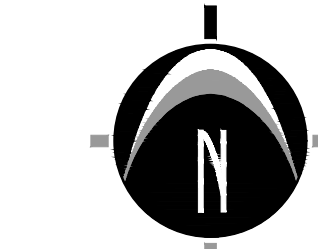
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Top of the Southwest flange bolt (under "USA") on the hydrant located 140'± South of the centerline of Lake Michigan Drive and 68'± West of Walgreens.

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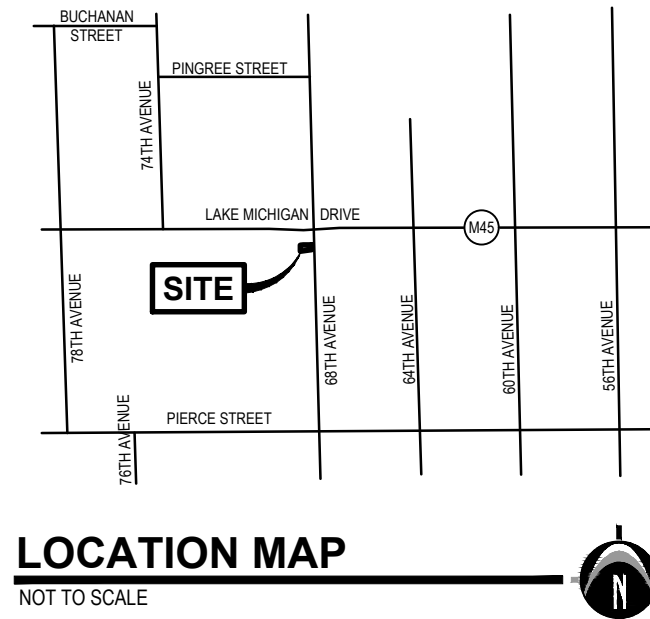
BENCHMARK #285 ELEV. = 650.58 (NGVD29)
Set benchmark on the top of the Northeast flange bolt (under the "W" in "E.W.") on the hydrant located 43'± East of the centerline of 68th Avenue and 25'± North of the centerline of the drive to the parking lot for Allendale Commercial Park.

LEGEND

	EXISTING BITUMINOUS
	EXISTING CONCRETE
	PROPOSED BITUMINOUS
	PROPOSED CONCRETE
	PROPOSED BUILDING



SCALE: 1" = 20'



CONSTRUCTION NOTES

STORM SEWER

- ALL CATCH BASINS SHOULD BE PROVIDED WITH A MINIMUM 2' SUMP.
- ALL STORM SEWER SHALL BE SMOOTH LINED CORRUGATED POLYETHYLENE PIPE (SLOPP) WITH WATERTIGHT JOINTS MEETING THE REQUIREMENTS OF THE MICHIGAN PLUMBING CODE, AASHTO M-252 AND M-294, ASTM F-2306, F-2448, D-2212, F-417, F-487, D-3360 AND F-1417, UNLESS OTHERWISE SPECIFIED. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS AND ASTM D-2321 OR CONCRETE PIPE MEETING THE REQUIREMENTS OF ASTM C-76-III UNLESS OTHERWISE NOTED.
- 8" UNDERDRAIN SHALL BE PERFORATED PIPE WITH SOCK, MEETING THE REQUIREMENTS OF AASHTO M-252 AND THE GEOTECHNICAL SHALL MEET AASHTO M-286 REQUIREMENTS.
- ALL FLARED END SECTIONS SHALL BE CONCRETE.
- ALL CATCH BASINS AND MANHOLES SHALL BE CONCRETE, CONFORMING TO ASTM C-478 WITH BUTYL RUBBER GASKETED JOINTS WITH BOOT TYPE PIPE CONNECTIONS CONFORMING TO ASTM C-923 FOR ALL PIPE CONNECTIONS 24" DIAMETER AND SMALLER.
- ALL CATCH BASINS ARE DRAWN AND WILL BE STAKED AT CENTER OF CASTING.

SANITARY NOTES

- ALL SANITARY SEWER AND APPURTENANT STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND STANDARDS OF THE SPECIFICATION OF ALLENDALE CHARTER TOWNSHIP.
- SEWER MAIN PIPE BETWEEN 0'-19" SHALL BE SDR-35 PVC. SEWER MAIN PIPE GREATER THAN 19" SHALL BE ASTM D-2911 SDR-35 PVC. SANITARY SEWER AND LATERALS SHALL BE BEDDED AND BACKFILLED WITH SAND COMPACTED TO 95%.
- SANITARY SEWER MANHOLES SHALL BE WET CAST CONCRETE CONFORMING TO ASTM C-478 WITH BUTYL RUBBER GASKET JOINTS, AND BOOT TYPE PIPE JOINTS CONFORMING TO ASTM C-923. CASTINGS SHALL BE ALLENDALE CHARTER TOWNSHIP STANDARD INCLUDING CASE I IN PAVEMENT AREAS AND CASE I IN NON-PAVEMENT AREAS.
- INSTALL AND MAINTAIN PLUGS IN MANHOLES TO PREVENT DEBRIS AND WATER FROM ENTERING EXISTING DOWNSTREAM SEWERS. PLUGS SHALL BE MAINTAINED UNTIL THE NEW SEWER IS INSPECTED AND APPROVED BY ALLENDALE CHARTER TOWNSHIP.
- PERFORM LOW PRESSURE AIR TEST OF COMPLETED SEWER MAIN. TELEVISIONING OF SEWER MAIN TO BE PERFORMED 30 DAYS AFTER COMPLETION. TESTS SHALL BE WITNESSED BY INSPECTORS, NOTARY AGENCIES AND INSPECTORS 48 HOURS PRIOR TO TESTING. TELEVISIONING SHALL BE PERFORMED AT THE COMPLETION OF SEWER CONSTRUCTION AND VIDEO FILES SHALL BE SUBMITTED TO THE TOWNSHIP.
- INSTALL 8" SANITARY SEWER LATERAL AT 24" MIN. LATERAL SHALL BE SDR-35 OR SDR-36 AND BE LAD PERPENDICULAR TO THE MAINLINE SEWER. MARK END OF PIPE AND RECORD PER ALLENDALE CHARTER TOWNSHIP STANDARDS AND MEASURE HORIZONTAL LENGTH OF LATERAL FROM MAINLINE SEWER TO LATERAL END. SANITARY LATERALS SHALL BE WITNESSED BY INSPECTORS, NOTARY AGENCIES AND INSPECTORS 48 HOURS PRIOR TO TESTING. NO CONNECTION TO EXISTING WATERMAIN WILL BE ALLOWED UNTIL AFTER 48 HOURS WATERMAIN TESTING IS COMPLETED AND APPROVED BY ALLENDALE CHARTER TOWNSHIP.
- RECORD LOCATION OF SEWER WET MEASURED FROM THE NEAREST DOWN STREAM SANITARY MH. SUBMIT RECORDS TO OWNERS ENGINEER FOR ASBUILT DRAWINGS.
- PROPERTY LINE RISERS SHALL BE CONSTRUCTED ON ALL SANITARY LATERAL PER ALLENDALE CHARTER TOWNSHIP STANDARD DETAIL. LATERAL CONSTRUCTED BEYOND THE R.O.W. SHALL BE PER BUILDING CODE SPECIFICATION.
- ALL SANITARY LATERAL SHALL BE LOCATED 15' FROM THE LEFT LOT LINE WHEN FACING THE LOT.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE (2) WITNESS MEASUREMENTS FORM PERMANENT SURFACE OBJECTS FOR ALL ENDS OF STUBS AND LATERALS.

WATERMAIN NOTES

- ALL WATERMAIN FITTINGS AND APPURTENANT STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND STANDARDS OF ALLENDALE CHARTER TOWNSHIP.
- WATERMAIN PIPE SHALL BE DUCTILE IRON CLASS 52 CEMENT LINED, CONFORMING TO ANSI/AWWA C151A/21.51 AND POLYWRAPPED IF CORRODIVE SOILS ARE ENCOUNTERED.
- DEPTH OF WATERMAIN SHALL BE 5'-0" FROM THE TOP OF WATERMAIN TO GRADE.
- ONLY ALLENDALE CHARTER TOWNSHIP WATER AND SEWER PERSONNEL SHALL OPERATE EXISTING VALVES.
- CONTRACTOR TAPS OF EXISTING WATERMAIN WITH ALLENDALE CHARTER TOWNSHIP PUBLIC UTILITIES DEPARTMENT.
- FIRE HYDRANTS AND VALVE BOXES SHALL CONFORM TO ALLENDALE CHARTER TOWNSHIP STANDARDS. HYDRANTS SHALL BE 6" MIN. HYDRANT WEEP HOLES SHALL BE PLUGGED WHEN WATERMAIN IS BELOW THE WATER TABLE. HYDRANTS SHALL BE LOCATED 8'-0" FROM THE R.O.W. SET HYDRANT (center of cap nut) 27' ABOVE C/L OF STREET OR 21' ABOVE FINISH GRADE, WHICHEVER IS HIGHER.
- HYDRANTS AND VALVES SHALL OPEN RIGHT.
- MEG LOG RESTRAINTS SHALL BE USED AT ALL FITTINGS.
- BRASS WEDGES SHALL BE INSTALLED AT ALL PIPE JOINTS 1" PER JOINT.
- INSTALL WATER SERVICES PER ALLENDALE CHARTER TOWNSHIP STANDARD. PLACE CURB STOPS AT OUTSIDE EDGE OF EASEMENT OF R.O.W. AS SHOWN. PLACE AND MAINTAIN LOCATION MARKERS AT CURB STOPS. ALL CURB STOPS WILL HAVE 4" RIGID POLYESTER.
- CHLORINATE COMPLETED WATERMANS, PERFORM PRESSURE TEST AND BACTERIOLOGICAL TESTS OF COMPLETED MAIN. TESTS SHALL BE WITNESSED BY INSPECTORS, NOTARY AGENCY AND INSPECTORS 48 HOURS PRIOR TO TESTING. NO CONNECTION TO EXISTING WATERMAIN WILL BE ALLOWED UNTIL AFTER 48 HOURS WATERMAIN TESTING IS COMPLETED AND APPROVED BY ALLENDALE CHARTER TOWNSHIP.
- JOINT DEFLECTIONS SHALL NOT EXCEED THE VALUES FOUND IN SECTION 3.02.2.B OR AS RECOMMENDED BY PIPE MANUFACTURER.
- MARK END OF SERVICE PIPE PER ALLENDALE CHARTER TOWNSHIP STANDARDS.
- RECORD LOCATION OF SERVICE CONNECTION MEASURED FROM THE NEAREST VALVE TO SERVICE CONNECTION. SUBMIT RECORDS TO ENGINEER FOR ASBUILT DRAWINGS.
- WATER SERVICES SHALL BE 1" DIA. TYPE C COPPER, ANNEALED, SEAMLESS, ASTM A-88.
- ALL WATER SERVICES SHALL BE LOCATED 10' FROM THE LEFT LOT LINE WHEN FACING THE LOT.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE (2) WITNESS MEASUREMENTS FROM PERMANENT SURFACE OBJECTS FOR ALL CURBSTOP BOXES, VALVE BOXES AND ENDS OF STUBS.

GENERAL

- ALL CONSTRUCTION AND MATERIAL SPECIFICATIONS INCLUDED FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITIONS OF THE SPECIFICATION AND MATERIALS SPECIFICATION AND THE ORDINANCES OF THE TOWNSHIP. WHERE CONFLICTS OCCUR IN THE ABOVE, THE TOWNSHIP SHALL BE THE GOVERNING AUTHORITY.
- VARIATION IN EXISTING SOIL CONDITIONS MAY IMPACT THE EARTHWORK QUANTITIES IF UNUSABLE SOILS ARE ENCOUNTERED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO THE EXISTING WATER AND SEWAGE SYSTEM RESULTING FROM NON-COMFORMANCE WITH THE APPLICABLE STANDARDS OR THROUGH GENERAL NEGLIGENCE.
- ALL WORK INCLUDING INSPECTIONS AND TESTING COST REQUIRED FOR REMOVAL, RELOCATION OR NEW CONSTRUCTION FOR PRIVATE OR PUBLIC UTILITIES, WILL BE DONE BY AND AT THE EXPENSE OF THE CONTRACTOR AND INCLUDED IN THE BID PRICE FOR THE VARIOUS WORK ITEMS UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL NECESSARY PERMITS FROM THE TOWNSHIP AND COUNTY AND ANY OTHER AGENCY FOR ALL WORK DONE BY THE CONTRACTOR.
- ANY DEFECTS IN THE CONSTRUCTION OR WORKMANSHIP SHALL BE REPLACED OR CORRECTED BY REMOVAL AND REPLACEMENT OR OTHER APPROVED METHODS PRIOR TO ACCEPTANCE BY THE TOWNSHIP OR OWNER WITHOUT ANY ADDITIONAL COST TO THE TOWNSHIP OR OWNER.
- ALL LAWN AREAS REMOVED SHALL BE REPLACED WITH TOPSOIL AND SOIL WHERE NEEDED AND SHALL BE RESEEDING AND MULCHED IF SATISFACTORY RE-ESTABLISHMENT OF LAWN DOES NOT OCCUR.
- ALL PUNCH LIST AND DEFICIENCY WORK SHALL BE COMPLETED WITHIN 1 MONTH OF THE END OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FROM THE MDTI AND/OR THE COUNTY BEFORE BEGINNING WORK WITHIN ANY PUBLIC STREET RIGHT-OF-WAY.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF CONSTRUCTION DRAWINGS ON SITE AT ALL TIMES. THESE PLANS HAVE BEEN DEVELOPED FOR ELECTRONIC FIELD LAYOUT. DIMENSIONS SHOWN ARE FOR GRAPHIC PRESENTATION ONLY AND SHOULD NOT BE USED FOR LAYOUT. THE ENGINEER IF ANY DISCREPANCIES BETWEEN THE PLAN AND ELECTRONIC DATA ARE DISCOVERED.
- THE WORK LIMITS SHOWN ON THESE PLANS ARE FOR PHYSICAL CONSTRUCTION ONLY. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY LIGHTS, BARRICADES, FLAGMEN, ETC. AS REQUIRED TO PERFORM THE REQUIRED WORK. THE INSTALLATION AND OPERATION OF ALL TEMPORARY TRAFFIC CONTROL AND TEMPORARY TRAFFIC CONTROL DEVICES AS REQUIRED SHALL BE PROVIDED BY THE CONTRACTOR WHETHER INSIDE OR OUTSIDE THESE WORK LIMITS. THE CONTRACTOR SHALL FURNISH, ERECT, MAINTAIN AND SUBSEQUENTLY REMOVE SUCH ADDITIONAL TRAFFIC CONTROL DEVICES LOCATED OUTSIDE THE LIMITS OF CONSTRUCTION AS ARE REQUIRED ON THOSE STREETS WHICH ARE USED AS DETOURS, INCLUDING "ROAD CLOSED" SIGNS AND BARRICADES AT THE POINT WHERE THE ROAD IS CLOSED TO THROUGH TRAFFIC.
- THE CONTRACTOR SHALL PROTECT LOCATION OF ALL PROPERTY PINS AND BENCHMARKS.
- ALL WORK CONTINGENT SHALL AT ALL TIMES BE SUBJECT TO THE DIRECT INSPECTION OF THE TOWNSHIP, OWNER AND THEIR REPRESENTATIVES. THE TOWNSHIP AND OWNER RESERVES THE RIGHT TO HALT ALL CONSTRUCTION ACTIVITY FOR NON-COMFORMANCE OF PLANS, SPECIFICATIONS AND OTHER APPLICABLE STANDARDS OR REGULATIONS.
- PRICES BID PER FOOT FOR ALL PIPES IS COMPACTED IN PLACE REGARDLESS OF SOIL OR ROCK CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF SUCH AT THE END OF EACH WORK DAY OR AS REQUIRED DURING THE WORK DAY.
- ALL EXISTING CASTINGS FOR STRUCTURES TO BE ADJUSTED OR RECONSTRUCTED TO GRADE SHALL BE FIELD CHECKED AT THE TIME OF CONSTRUCTION AND MARKED SUITABLE FOR SALVAGE AND REUSE OR REPLACED.
- COMPACTED PREMIUM BACKFILL, MDTI CLASS II SAND WILL BE REQUIRED AT ALL FILL AREAS OR ANY STREETS WHERE REMOVAL AND REPLACEMENT OF PAVEMENT IS REQUIRED AND FOR ALL UNDERGROUND CONSTRUCTION UNDER ANY DRIVEWAY OR PAVEMENT INCLUDING THE 45 DEGREE ANGLE OF INFLUENCE FROM THE OUTSIDE EDGE OF PAVEMENT OR TOP OF CURB. COMPACTION TESTS SHALL BE REQUIRED EVERY 50 FEET UNDER PAVEMENT. PAVEMENT INCLUDES, BUT NOT LIMITED TO, ROADWAY SURFACES, SIDEWALKS, BIKE WAYS, DRIVEWAYS, SHOULDERS, BUILDINGS, ETC.
- NO BUILDING MATERIAL, EQUIPMENT, VEHICLES OR CHEMICALS SHALL BE STORED OR PLACED OUTSIDE LIMITS OF WORK/DISTURBANCE.
- STORMWATER POLLUTION PREVENTION ITEMS SHALL BE IN PLACE PRIOR TO COMMENCING CLEARING OPERATIONS, EARTHWORK GRADING, OR ANY OTHER TYPE OF CONSTRUCTION ACTIVITY.
- ROOF DRAINS, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
- CONSTRUCTION NOISE SHALL BE KEPT TO A MINIMUM DURING NIGHTTIME HOURS AND MUST COMPLY WITH MUNICIPAL CODE REQUIREMENTS.
- ALL TREES AND VEGETATION WITHIN THE GRADING LIMITS SHALL BE REMOVED UNLESS OTHERWISE NOTED.
- CONTRACTOR TO FIELD VERIFY AND SCOPE EXISTING SANITARY SEWER LATERAL TO CONFIRM ELEVATION, SLOPE, CONDITION AND PHYSICAL CONNECTION TO PUBLIC SANITARY SEWER MAIN PRIOR TO CONNECTION OF NEW LATERAL SERVICE.
- THE BUILDING IS REQUIRED TO HAVE A MASTER WATER METER AND RPZ VALVE.
- A GREASE TRAP SHALL BE PROVIDED FOR ANY TENANT SPACE FACILITY THAT HAS A KITCHEN, DEP. FRYER, GRILL OR OTHER FOOD PREPARATION APPLIANCES. THE GREASE TRAP SHALL INTERCEPT FATS, OILS AND GREASES. IF A GREASE TRAP IS NOT PROVIDED, THEN THE TOWNSHIP RESERVES THE RIGHT TO RESEED THE CERTIFICATE OF OCCUPANCY DEPENDING ON THE TENANT LEASING THE SUBJECT SPACE.

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REVISIONS:

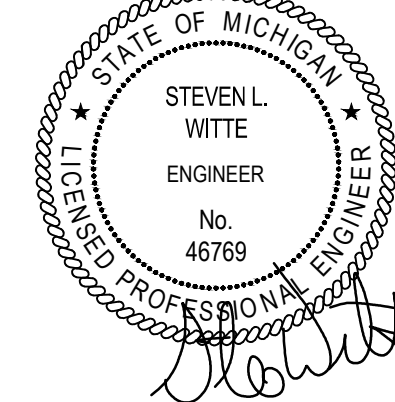
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Title: Site Plan Submittal to Township	Drawn: SW	Checked: SW	Date: 09/22/23
Title: Revised Per Staff Comments	Drawn: SW	Checked: SW	Date: 10/10/23
Title: Revised Per Planning Commission Comments	Drawn: SW	Checked: SW	Date: 10/17/23
Title: Revised Per List of Possible Uses	Drawn: SW	Checked: SW	Date: 11/14/23
Title: Revised Planning Commission Recommendation	Drawn: SW	Checked: SW	Date: 12/05/23

The Raymond Building

Utility Plan

11145 68th Avenue
PART OF THE NORTHWEST 1/4 OF SECTION 27, T1N, R14W,
ALLENDALE TOWNSHIP, OTTAWA COUNTY, MICHIGAN

STAMP:



PROJECT NO:

21201161

SHEET NO:

C-400

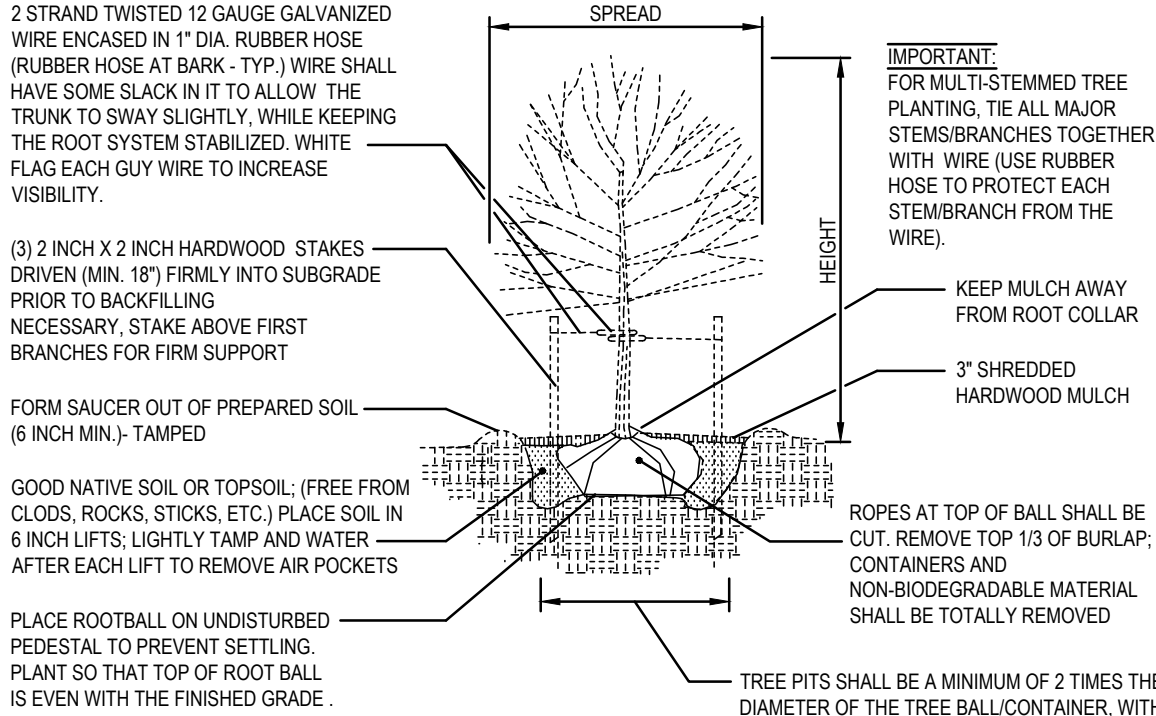
SHEET: 5 OF 6



Know what's below.
CALL before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE:
EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLAN" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.



TYPICAL TREE PLANTING DETAIL

N.T.S.

TOPSOIL OR GOOD NATIVE SOIL THAT HAS BEEN AMENDED FOR PLANTING (FREE FROM CLODS, ROCKS, STICKS, ETC.). PLACE SOIL IN 6 INCH LIFTS, LIGHTLY TAMP AND WATER AFTER EACH LIFT TO REMOVE AIR POCKETS.

TYPICAL SHRUB / PERENNIAL / ORNAMENTAL GRASS PLANTING DETAIL

N.T.S.

LANDSCAPE CALCULATIONS

GREENBELT LANDSCAPE: SEC.21A.04.A

REQUIREMENT: 15 FT. MINIMUM WIDTH. 1 TREE PER 20 LF (MIX OF EVERGREEN, DECIDUOUS, AND ORNAMENTAL TREES). TWO SHRUBS PER TREE.

GREENBELT 'A' (SOUTH PROPERTY LINE): 320 LF

REQUIRED: 16 TREES & 32 SHRUBS

PROPOSED: 34 EXISTING TREES TO REMAIN AS GREENBELT CREDIT

FRONT YARD LANDSCAPE: SEC.21A.04.F

REQUIREMENT: 2 DECIDUOUS OR EVERGREEN TREES AND 2 ORNAMENTAL TREES PER 150 LF FRONTAGE. THREE SHRUBS PER TREE.

FRONTAGE: 141 LF

REQUIRED: 2 DECIDUOUS OR EVERGREEN TREES, 2 ORNAMENTAL TREES AND 12 SHRUBS

PROPOSED: 2- EVERGREEN TREES TO REMAIN, 2 NEW ORNAMENTAL TREES AND 12 SHRUBS

OFF STREET PARKING AREA LANDSCAPE: SEC.21A.04.G

REQUIREMENT: 20 SF LANDSCAPE PER EA. PARKING SPACE. 1 CANOPY TREE PER ISLAND. 1 CANOPY OR ORNAMENTAL TREE PER 20 PARKING SPACES (2 TREES MINIMUM). CONTINUOUS HEDGE ADJACENT R.O.W.

PARKING TOTAL: 45 SPACES AND 2 ISLANDS

REQUIRED: 3 TREES & 900 SF LANDSCAPE

PROPOSED: 3 NEW TREES & 920 SF LANDSCAPE

BENCHMARKS

BENCHMARK #281 ELEV. = 653.75 (NGVD29)

Top of the Southwest flange bolt (under "USA") on the hydrant located 140'± South of the centerline of Lake Michigan Drive and 68'± West of Walgreens.

BENCHMARK #283 ELEV. = 653.82 (NGVD29)

Set benchmark on the top of the Northwest flange bolt (under "USA") on the hydrant located 13'± South of Walgreens and 124'± West of the centerline of 68th Avenue.

BENCHMARK #285 ELEV. = 650.58 (NGVD29)

Set benchmark on the top of the Northeast flange bolt (under the "N" in "E.S.N.") on the hydrant located 43'± East of the centerline of 68th Avenue and 25'± North of the centerline of the drive to the parking lot for Allendale Commercial Park.



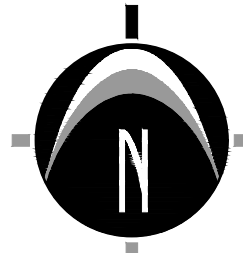
LOCATION MAP

NOT TO SCALE



LEGEND

	EXISTING BITUMINOUS
	EXISTING CONCRETE
	PROPOSED BITUMINOUS
	PROPOSED CONCRETE
	PROPOSED BUILDING



0' 10' 20' 40'
SCALE: 1" = 20'

LANDSCAPE NOTES

PLANTING NOTES:

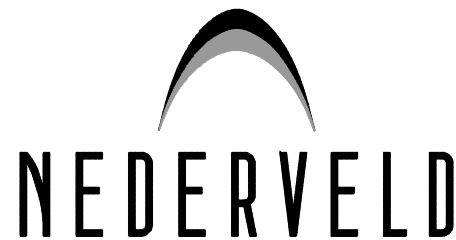
- ALL PLANT MATERIAL SHALL BE LOCALLY NURSERY GROWN NO.1 GRADE AND INSTALLED ACCORDING TO ACCEPTED PLANTING PROCEDURES. ALL PLANT MATERIALS SHALL MEET CURRENT AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. DO NOT PLANT MATERIALS UNTIL DIRECTED BY OWNER, LANDSCAPE ARCHITECT, AND/OR CONSTRUCTION MANAGER. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL FOR ANY REASON BEFORE OR AFTER IT IS INSTALLED.
 - SIZES SPECIFIED ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED.
 - ANY PLANT SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER AND THE TOWNSHIP.
 - MAINTENANCE OF LANDSCAPING ITEMS, TREES, AND PLANTS SHALL BE PERFORMED BY THE PROPERTY OWNER OR A QUALIFIED PROFESSIONAL. ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH APPLICABLE MUNICIPAL STANDARDS AND IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS IN A NEAT, HEALTHY AND WEED FREE CONDITION. ANY DEAD, DISEASED OR DAMAGED PLANT MATERIALS ARE TO BE REPLACED IMMEDIATELY AFTER NOTIFIED TO DO SO.
 - PLANT TREES AND SHRUBS IN ACCORDANCE WITH PLANTING DETAILS. DIG TREE PITS PER DETAILS. PLANT TREES AND SHRUBS AT THE SAME GRADE LEVEL AT WHICH THEY WERE GROWN AT THE NURSERY. IF HEAVY CLAY SOILS ARE EVIDENT, PLANT TREES AND SHRUBS HIGHER, APPROX. 1/4 OF THE ROOT BALL ABOVE GRADE, AND BACKFILL TO TOP OF ROOT BALL.
 - REMOVE ALL TWINE, WIRE, NURSERY TREE GUARDS, TAGS AND INORGANIC MATERIAL FROM ROOT BALLS. REMOVE THE TOP 1/3 OF BURLAP FROM EARTH BALLS AND REMOVE BURLAP FROM AROUND TRUNK.
 - FINELY SHREDDED HARDWOOD BARK MULCH, NATURAL COLOR (NON-COLORED), IS REQUIRED FOR ALL PLANTINGS AND PLANTING BEDS. MULCH PER PLANTING DETAILS. MULCH IN PLANT BEDS SHALL BE 3" THICK AT TIME OF INSPECTION AND AFTER COMPACTED BY RAIN OR IRRIGATION. ALL PLANTING BEDS SHALL BE EDGED WITH 6" X 12 GAUGE STEEL LANDSCAPE EDGING.
 - LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL PRIVATE UNDERGROUND AND OVERHEAD UTILITIES. IF A CONFLICT WITH UTILITIES EXIST, NOTIFY OWNER/CONSTRUCTION MANAGER PRIOR TO PLANTING. THE SURFACE AREA IMMEDIATELY OVER PUBLIC UTILITIES SUCH AS WATER MAINS AND SANITARY SEWERS, SHALL REMAIN CLEAR AND FREE FROM LANDSCAPE PLANTINGS AND OTHER OBSTRUCTIONS FOR A MINIMUM DISTANCE OF TEN (10) FEET FROM EACH SIDE OF THE UTILITY INFRASTRUCTURE.
 - PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER PLANTING AND ACCEPTANCE.
 - DURING EXCAVATION, GRADING AND INSTALLATION OF REQUIRED LANDSCAPING, ALL SOIL EROSION AND SEDIMENTATION CONTROL REGULATIONS SHALL BE STRICTLY FOLLOWED AND COMPLIED WITH.
 - ALL LAWN AREAS SHALL RECEIVE SOD OR HYDROSEED. TURF SHALL BE INSTALLED ON TOPSOIL UNLESS APPROVED OTHERWISE. DO NOT PLANT UNTIL ACCEPTANCE OF FINISH GRADE.
 - ALL PLANTING AREAS, LAWN AREAS AND LANDSCAPE ISLANDS SHOWN ARE TO HAVE A COMPLETE IRRIGATION SYSTEM. THE G.C. SHALL BE RESPONSIBLE FOR RETAINING A QUALIFIED FIRM FOR THE DESIGN OF THE IRRIGATION SYSTEM. THE DESIGN MUST SHOW HOW THE SYSTEM TIES INTO THE BUILDING AND MUST SHOW ALL OF THE NECESSARY EQUIPMENT FOR A COMPLETE SYSTEM. THE G.C. SHALL SUBMIT THE IRRIGATION SYSTEM DESIGN TO THE ARCHITECT/OWNER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.
 - TO THE EXTENT FEASIBLE, THE APPROVED LANDSCAPING SHALL BE INSTALLED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF AUTHENTICITY.
 - LANDSCAPING SHALL BE INSTALLED WITHIN 180 DAYS OF OCCUPANCY OF THE BUILDING OR STRUCTURE UNLESS A LONGER PERIOD IS PERMITTED IN WRITING FROM THE ZONING ADMINISTRATOR.
 - LANDSCAPE PLANTINGS ARE PROHIBITED WITHIN ANY TOWNSHIP UTILITY EASEMENT.
- NOTE: 1) ALL LANDSCAPE AREAS SHALL BE LAWN, SHRUBS, TREES, GROUNDCOVER, OR OTHER LANDSCAPE PLANT MATERIAL.
2) ALL MINIMUM LANDSCAPE SPACING SHALL COMPLY WITH SEC. 21A.04 OF THE ALLENDALE TOWNSHIP ZONING ORDINANCE. [EVERGREEN TREES = 20' O.C. MIN., ORNAMENTAL TREES = 10' O.C. MIN., DECIDUOUS SHRUBS = 4' O.C. MIN., AND DECIDUOUS TREES = 25' O.C. MIN.]

LANDSCAPE SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	Aa	Acer rubrum 'Autumn Flame'	Autumn Flame Red Maple	2" cal. min.	3
	Cc	Cercis canadensis	Eastern Redbud	4" hgt. min.	2
	Pc	Picea pungens	Colorado Spruce	4" hgt. min.	2
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	Bv	Buxus sempervirens 'Variegata'	Variegated Common Boxwood	30"min.	13
	Jf	Juniperus chinensis 'Sea Green'	Sea Green Juniper	30"min.	14
	Sg	Spiraea japonica 'Goldflame'	Goldflame Japanese Spiraea	30"min.	5

CERTIFICATION STATEMENT

THE LANDSCAPE PLAN SATISFIES THE REQUIREMENTS OF THE LANDSCAPE SECTION OF THE ORDINANCE FOR THE SITE, WITH EXISTING VEGETATIVE BUFFER TO THE SOUTH AS BEING SUFFICIENT FOR THE SITE AND THAT ADDITIONAL VEGETATION IS NOT REQUIRED WEST OF THE DRIVE THRU USE (POSSIBLE EXCEPTION TO SECTION 21A.05 OF THE ZONING ORDINANCE).



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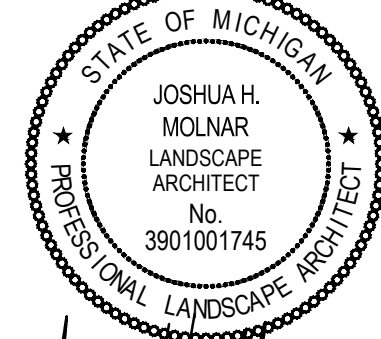
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Title: Revised Per List of Possible Uses	Drawn: SW	Checked: SW	Date: 11/14/23
Title: Per Planning Commission Recommendation	Drawn: SW	Checked: SW	Date: 12/05/23

The Raymond Building

Landscape Plan

11145 68th Avenue
PART OF THE NORTHWEST 1/4 OF SECTION 27, T7N, R14W,
ALLENDALE TOWNSHIP, OTTAWA COUNTY, MICHIGAN

STAMP:



PROJECT NO:
21201161

SHEET NO:

L-100

SHEET: 6 OF 6

SHEET INDEX	
NO.	DESCRIPTION
A1.1	ELEVATIONS
A2.1	FLOOR PLAN

CODE ANALYSIS:

Applicable Codes and Editions:

Michigan Building Code (MBC): 2015

Michigan Mechanical Code: 2015

National Electric Code: 2017

Americans with Disabilities Act Accessibility Guidelines: 2010 ADA-ABA

- I. **USE GROUP:**
B / M / A-2 Nonseparated, Sprinklered
Required Separation of Occupancies: Not Required
- II. **HEIGHT & AREA**
MBC Table 504.3 - Type II-B: Allowable Height: 55 Ft High 2 Stories
Allowable Area: 9,500 s.f. (Table 506.2)
Actual Height: 18'-3", 1 story
Actual Area: 6,405 s.f.
- III. **TYPES OF CONSTRUCTION**
Type II-B: Non Combustible materials, except as where is permitted in Section 603.
Building Elements Fire Resistance Ratings:
Bearing walls: Exterior - 0 Hours Interior - 0 Hours (Table 601)
Non Bearing walls/partitions: Exterior - 0 hours Interior - 0 Hours (Table 602)
Floor Construction and ass. secondary members: 0 Hours
Roof Construction and ass. secondary members: 0 Hours
Fire Wall Fire Resistance Rating: NR
Fire Barrier Fire Resistance Rating: NR
Fire Partition Fire Resistance Rating: NR
Fire Protection: NR
- IV. **OCCUPANCY**
Occupant Load: xx (Table 1004.1.2)
Actual Occupancy: xx
- V. **MEANS OF EGRESS**
Exits Required: 2
Exits Provided: 7
Travel Distance - Max Allowed: 200'
Travel Distance Max Actual: 54'
Comdor Fire Rating: NR

SOUTH WALL TRANSPARENCY

SOUTH WALL: 1,440 S.F.

TRANSPARENCY:

S2 x 1 = 153.30 S.F.

P.T. x 1 = 15.13 S.F.

168 / 1,440 = .116 (12%)

WEST WALL TRANSPARENCY

WEST WALL: 1,584 S.F.

TRANSPARENCY:

S3 x 3 = 260.1 S.F.

S4 x 1 = 26.7 S.F.

347 / 1,584 = .219 (22%)

NORTH WALL TRANSPARENCY

NORTH WALL: 1,440 S.F.

TRANSPARENCY:

S2 x 1 = 153.3 S.F.

S4 x 1 = 26.7 S.F.

240 / 1,440 = .166 (17%)

EAST WALL TRANSPARENCY

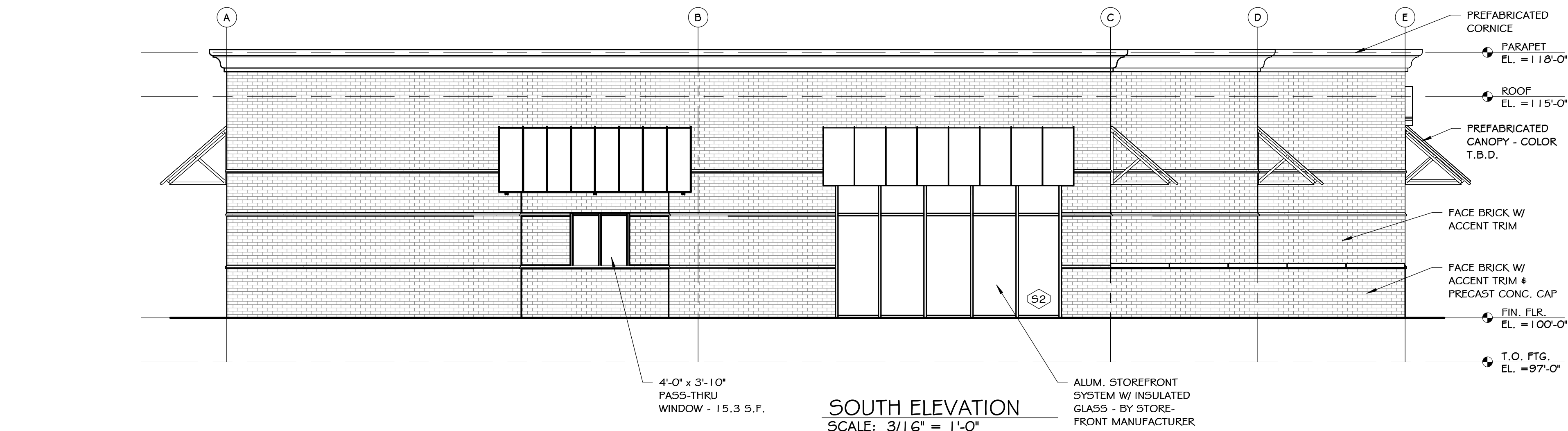
EAST WALL: 1,584 S.F.

TRANSPARENCY:

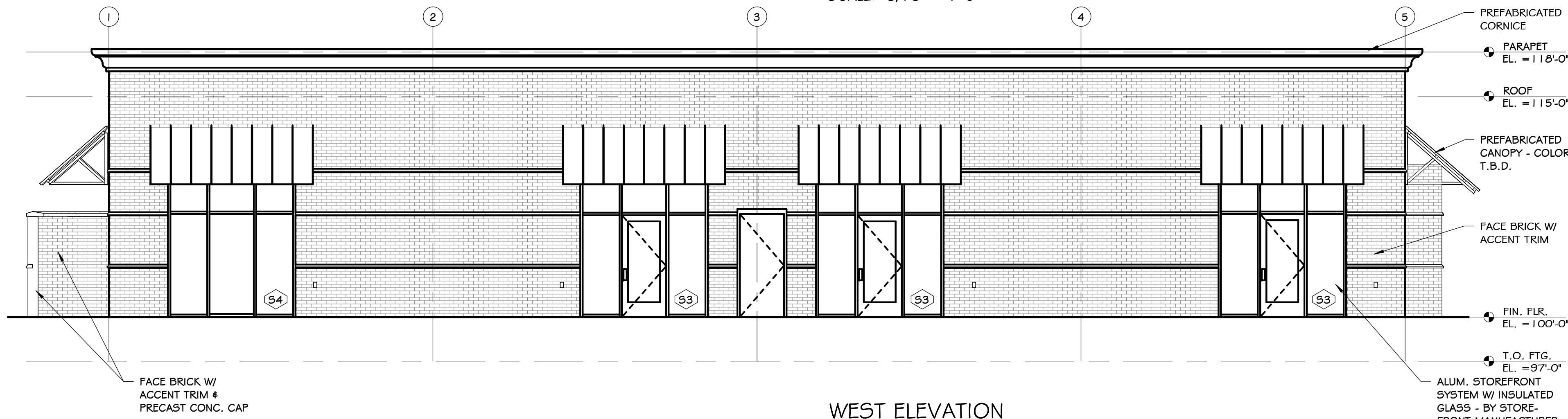
S1 x 3 = 459.9 S.F.

S2 x 1 = 153.3 S.F.

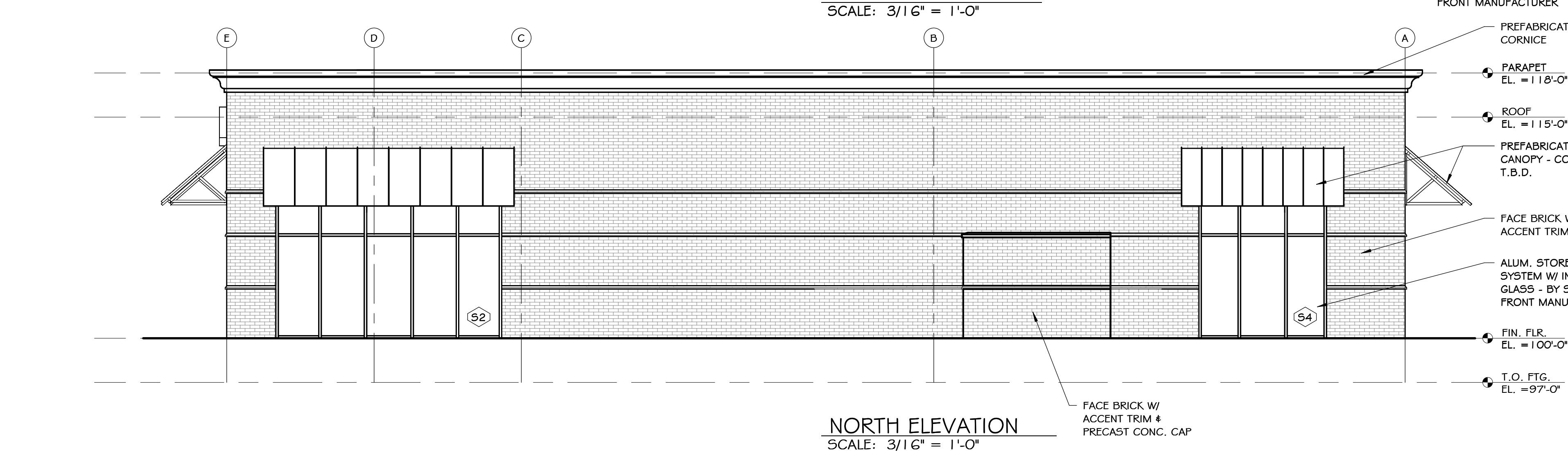
613.2 / 1,584 = .386 (39%)



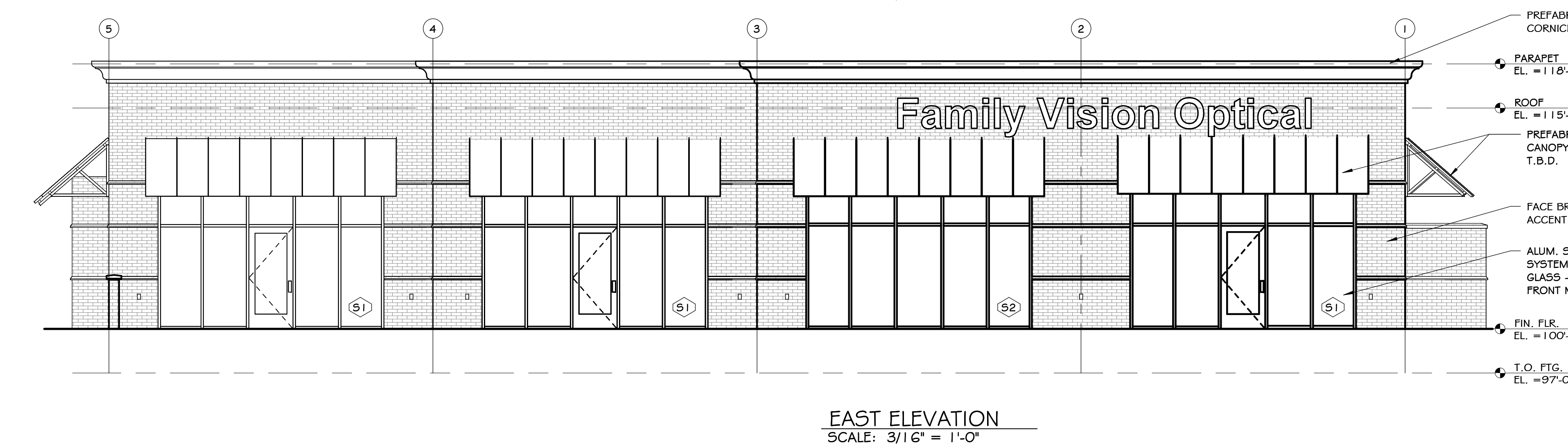
SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



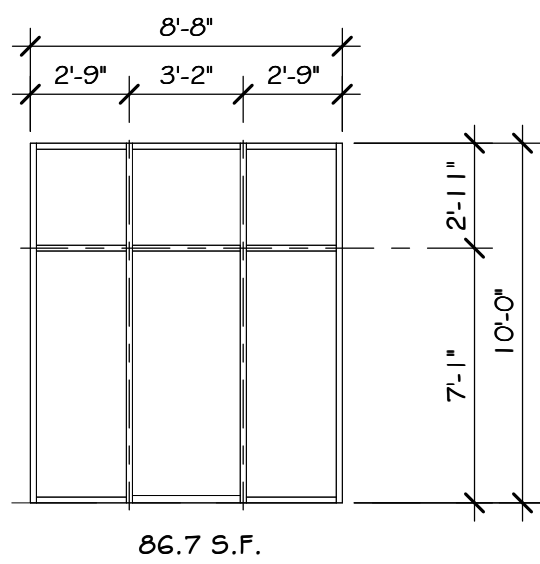
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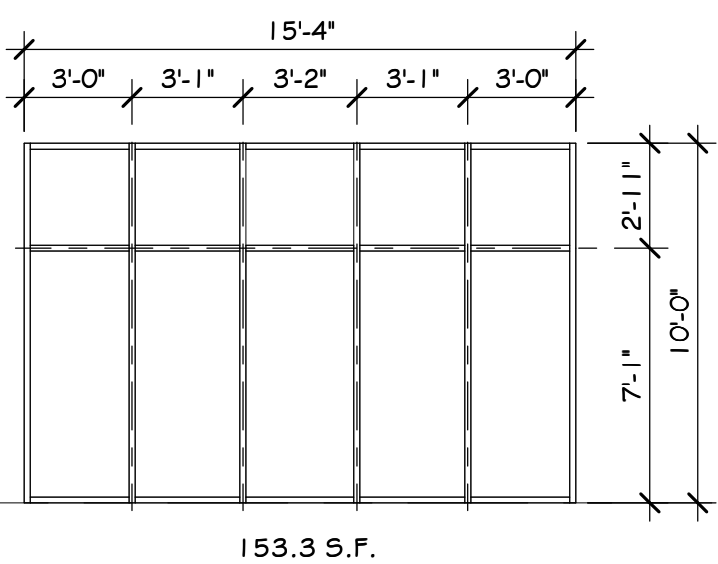
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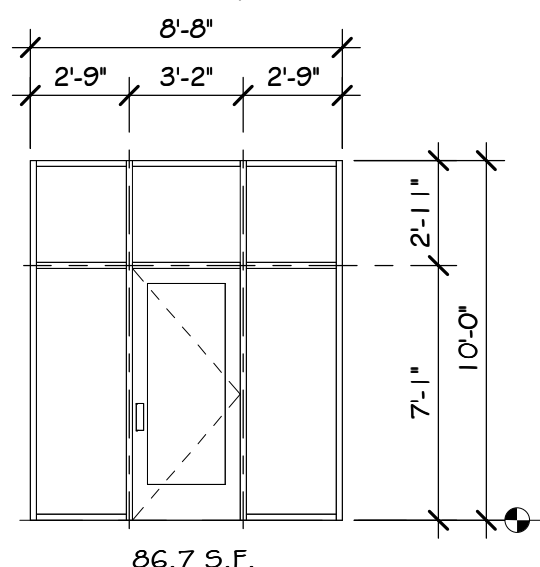
EAST ELEVATION
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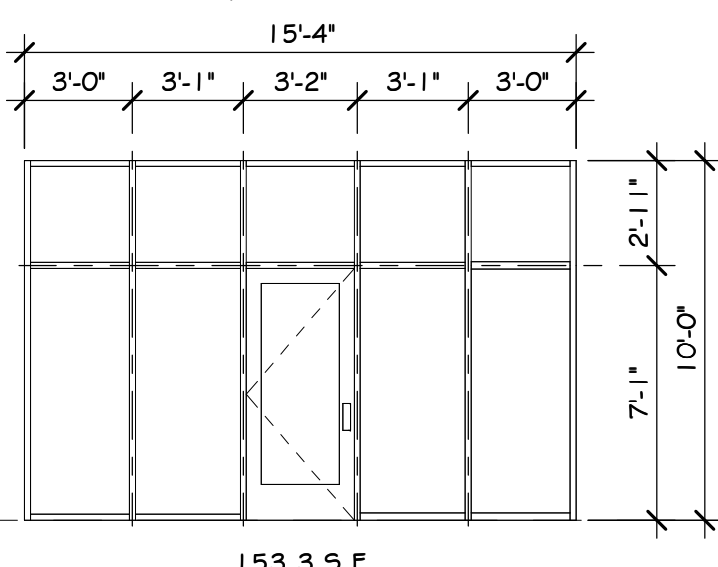
STOREFRONT S4
SCALE: 3/16" = 1'-0"



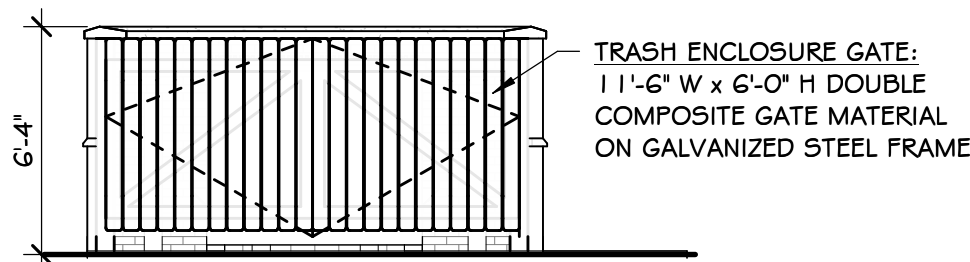
STOREFRONT S2
SCALE: 3/16" = 1'-0"



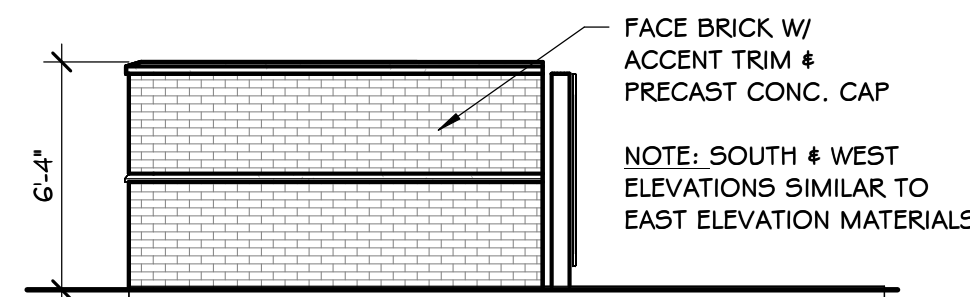
STOREFRONT S3
SCALE: 3/16" = 1'-0"



STOREFRONT S1
SCALE: 3/16" = 1'-0"



NORTH ELEVATION
SCALE: 3/16" = 1'-0"



EAST ELEVATION
SCALE: 3/16" = 1'-0"

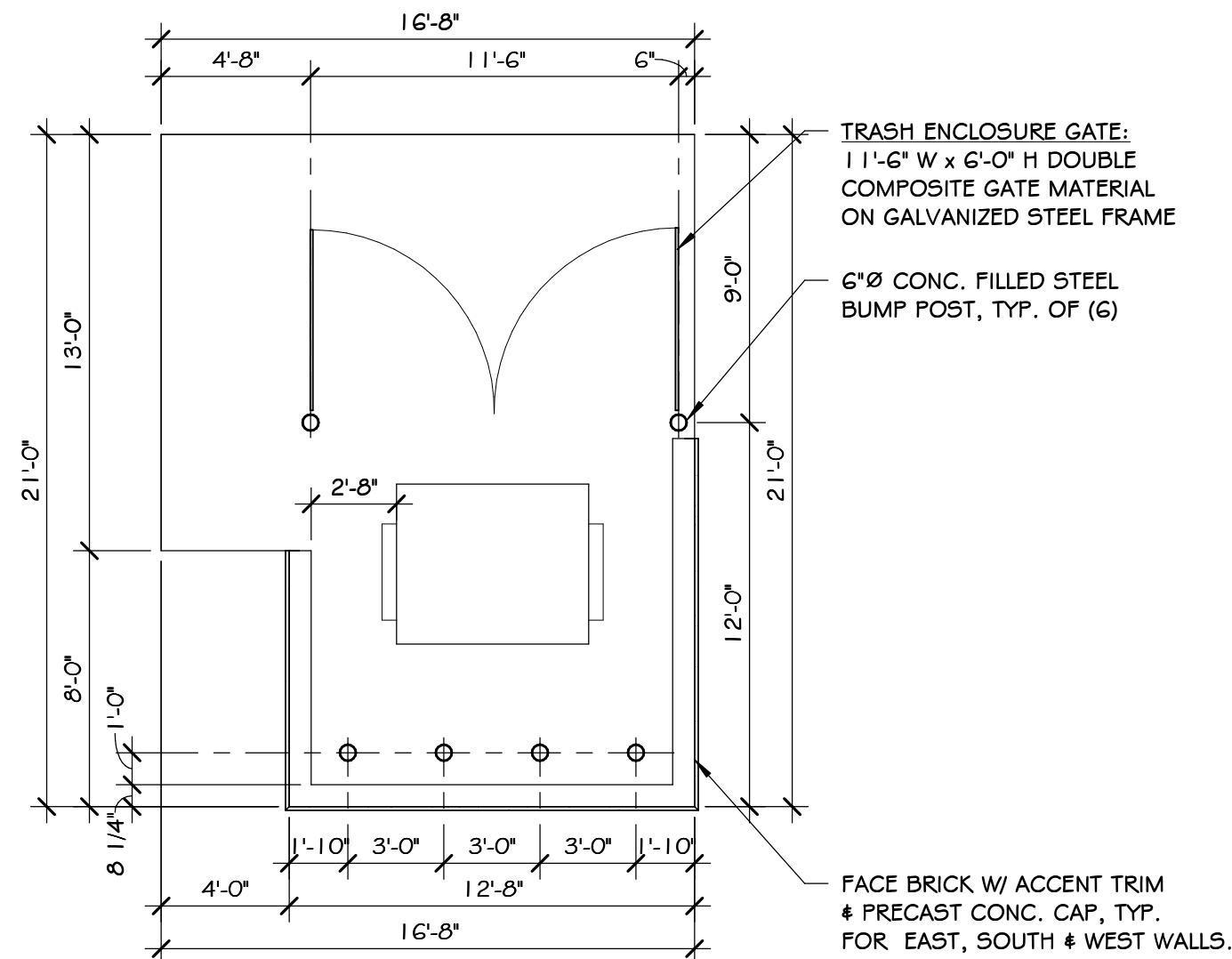
PRELIMINARY
NOT FOR CONSTRUCTION

GENERAL NOTES:

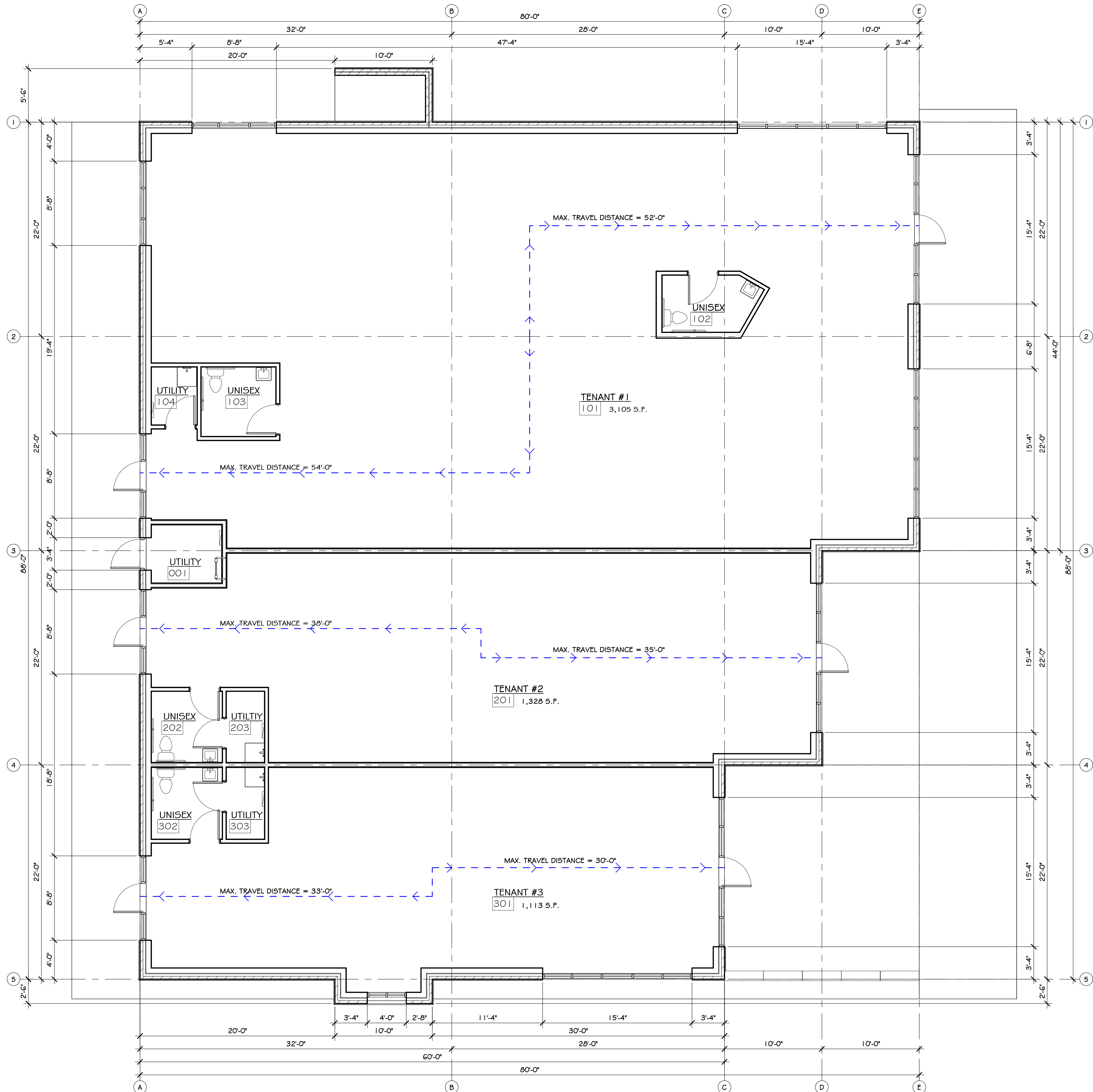
- MASONRY COURSING: COURSING WILL BE ESTABLISHED FROM FINISH GROUND FLOOR ELEVATION UNLESS INDICATED OTHERWISE.
- FLOOR DRAINS: UNLESS REQUIRED OTHERWISE, SET ALL FLOOR DRAINS 1/4" BELOW FLOOR LINE AND PITCH FROM 24" RADIUS.
- FIELD MEASURE AND VERIFY OR REVISE DIMENSIONAL INFORMATION TO THE EXTENT REQUIRED TO EXECUTE THE WORK REQUIRED ON THE CONTRACT DOCUMENTS.
- UNLESS INDICATED OTHERWISE, INTERIOR WALLS SHALL EXTEND TO BOTTOM OF STRUCTURE.
- UNLESS INDICATED OTHERWISE, FLOOR MATERIAL CHANGES SHALL OCCUR BENEATH DOORS OR THRESHOLDS.
- UNLESS INDICATED OTHERWISE, ALL NEW AND EXISTING UNFINISHED EXPOSED TO VIEW MATERIALS AND SURFACES OCCURRING WITHIN AREAS OF RENOVATION SHALL RECEIVE A PAINT FINISH -- SEE SPEC.
- WHERE RATED PARTITIONS ARE PENETRATED BY FIRE EXTINGUISHER CABINETS, WATER COOLERS, ELECTRICAL DISTRIBUTION PANELS AND OTHER SIMILAR ITEMS, PROVIDE RECESS OF EQUAL RATING TO PARTITION.
- GYPSUM BOARD PARTITION SYSTEMS:
 - EXTEND STUDS ABOVE CEILING TO BOTTOM OF STRUCTURE AND ANCHOR FIRMLY, USING SAME STUD SIZE AND SPACING.
 - STUDS SHALL BE SPACED AT 16" O.C. UNLESS NOTED OTHERWISE.
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 - UL DESIGN # U411
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DUMPSTER ENCLOSURE
SCALE: 3/16" = 1'-0"



FLOOR PLAN
SCALE: 3/16" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

Prop. Building For:

THE RAYMOND
BUILDING

11145 68TH AVE.
ALLENDALE, MI 49401

ISSUED FOR

DATE	DESCRIPTION
10-06-23	SITE PLAN REVIEW
10-12-23	REVISED ELEVATIONS

Revision Schedule

No.	Date	Description
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Drawn by: KJB

FLOOR PLAN

SCALE: AS NOTED

Sheet No.

A2.1

Project No.

23-082

SHEET INDEX	
NO.	DESCRIPTION
A1.1	ELEVATIONS
A2.1	FLOOR PLAN

CODE ANALYSIS:

Applicable Codes and Editions:

Michigan Building Code (MBC): 2015
Michigan Mechanical Code: 2015
National Electric Code: 2017
Americans with Disabilities Act Accessibility Guidelines: 2010 ADA-ABA

- I. USE GROUP:
B / M / A-2 Nonseparated, Sprinklered
Required Separation of Occupancies: Not Required
- II. HEIGHT & AREA
MBC Table 504.3 - Type II-B: Allowable Height: 55 Ft High 2 Stories
Allowable Area: 9,500 s.f. (Table 506.2)
Actual Height: 18'-3", 1 story
Actual Area: 6,405 s.f.
- III. TYPES OF CONSTRUCTION
Type II-B: Non Combustible materials, except as where is permitted in Section 603.
Building Elements Fire Resistance Ratings:
Bearing walls: Exterior - 0 Hours Interior - 0 Hours (Table 601)
Non Bearing walls/partitions: Exterior - 0 hours Interior - 0 Hours (Table 602)
Floor Construction and ass. secondary members: 0 Hours
Roof Construction and ass. secondary members: 0 Hours
Fire Wall Fire Resistance Rating: NR
Fire Barrier Fire Resistance Rating: NR
Fire Partition Fire Resistance Rating: NR
Fire Protection: NR
- IV. OCCUPANCY
Occupant Load: xx (Table 1004.1.2)
Actual Occupancy: xx
- V. MEANS OF EGRESS
Exits Required: 2
Exits Provided: 7
Travel Distance - Max Allowed: 200'
Travel Distance Max Actual: 54'
Comdor Fire Rating: NR

SOUTH WALL TRANSPARENCY

SOUTH WALL: 1,440 S.F.
TRANSPARENCY:
S2 x 1 = 153.30 S.F.
P.T. x 1 = 15.13 S.F.
168 / 1,440 = .116 (12%)

WEST WALL TRANSPARENCY

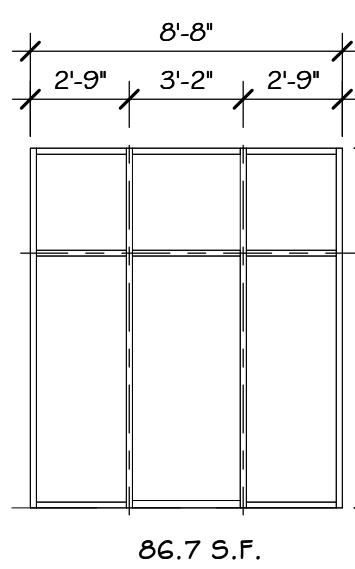
WEST WALL: 1,584 S.F.
TRANSPARENCY:
S3 x 3 = 260.1 S.F.
S4 x 1 = 86.7 S.F.
347 / 1,584 = .219 (22%)

NORTH WALL TRANSPARENCY

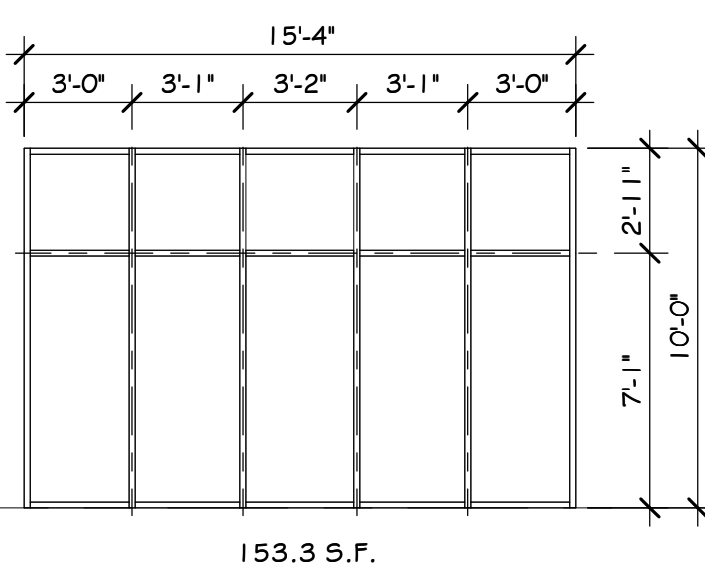
NORTH WALL: 1,440 S.F.
TRANSPARENCY:
S2 x 1 = 153.3 S.F.
S4 x 1 = 86.7 S.F.
240 / 1,440 = .166 (17%)

EAST WALL TRANSPARENCY

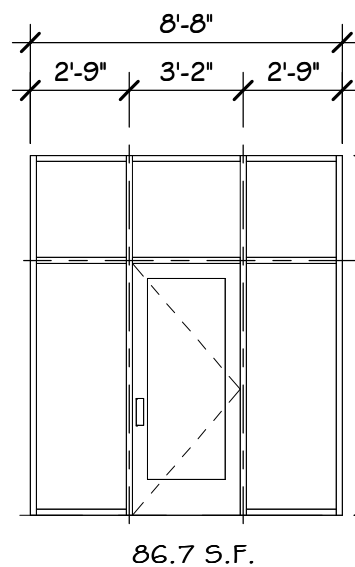
EAST WALL: 1,584 S.F.
TRANSPARENCY:
S1 x 3 = 459.9 S.F.
S2 x 1 = 153.3 S.F.
613.2 / 1,584 = .386 (39%)



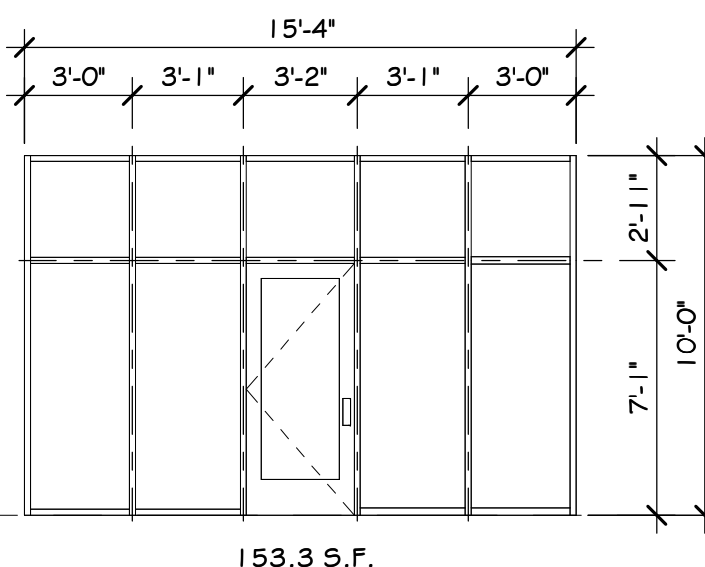
STOREFRONT S4
SCALE: 3/16" = 1'-0"



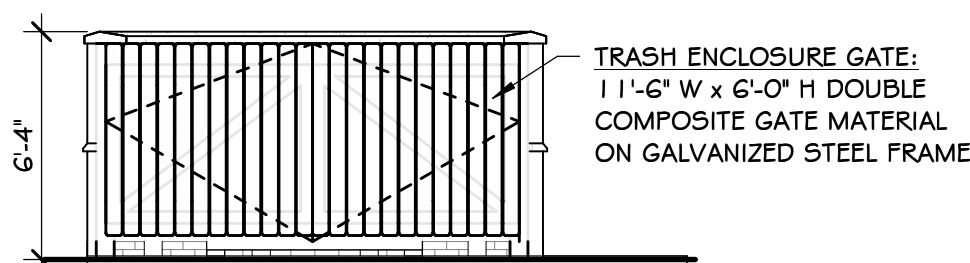
STOREFRONT S2
SCALE: 3/16" = 1'-0"



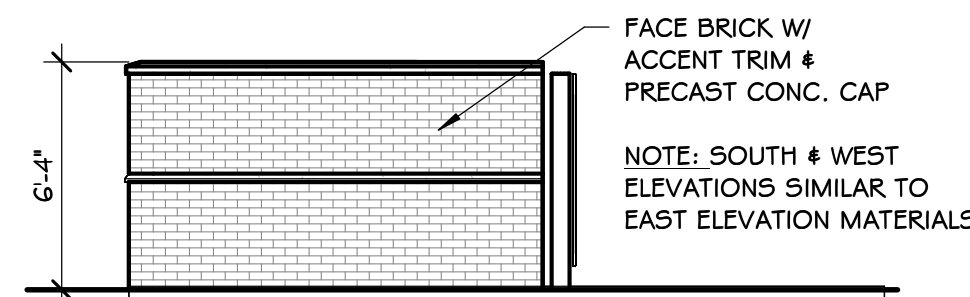
STOREFRONT S3
SCALE: 3/16" = 1'-0"



STOREFRONT S1
SCALE: 3/16" = 1'-0"

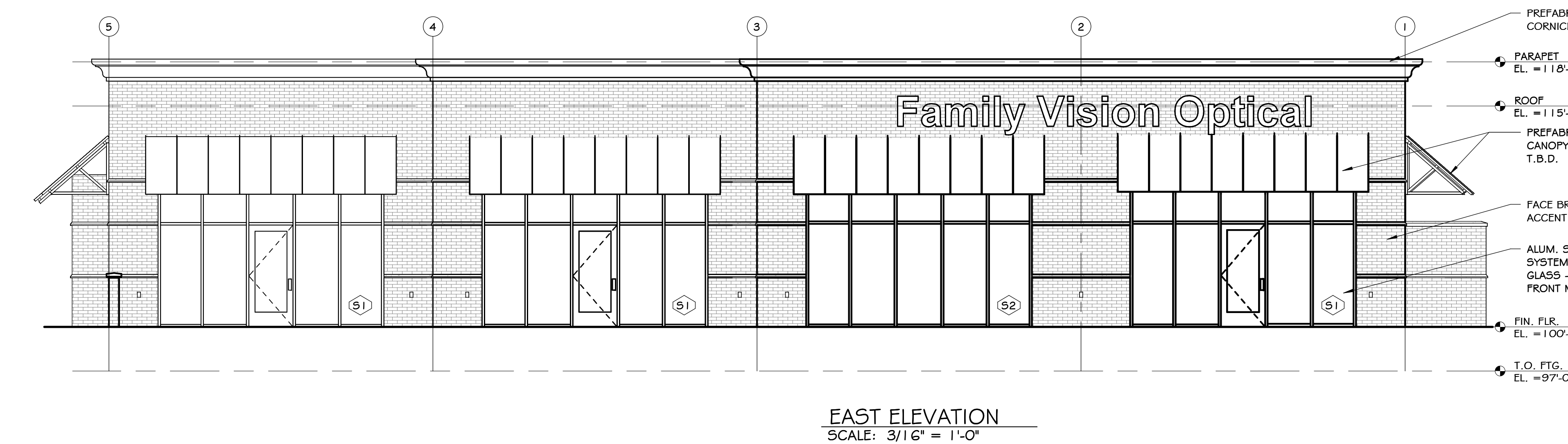
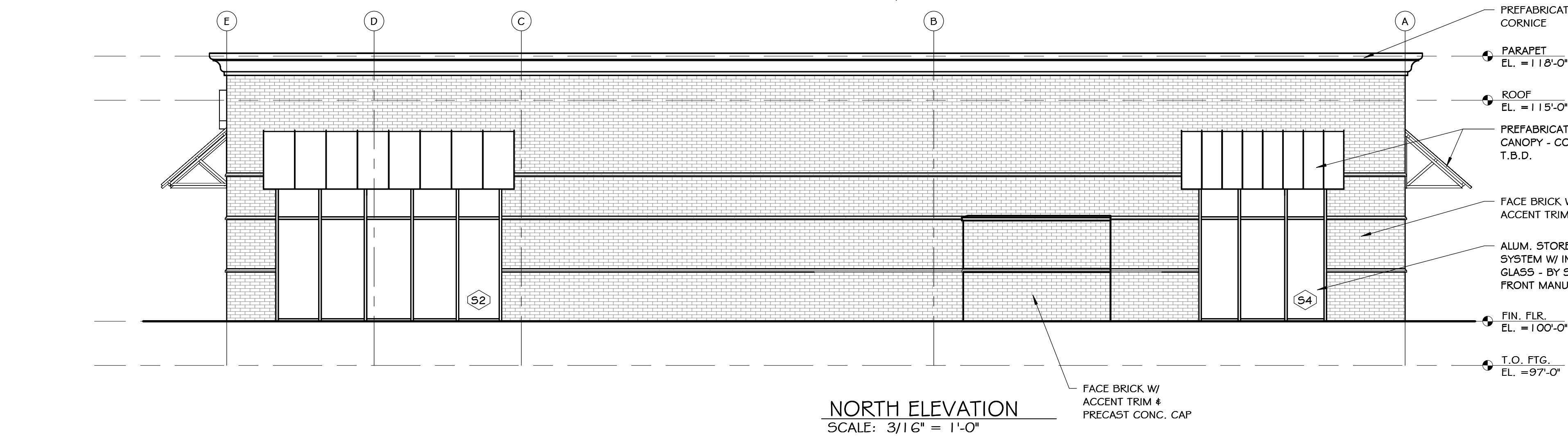
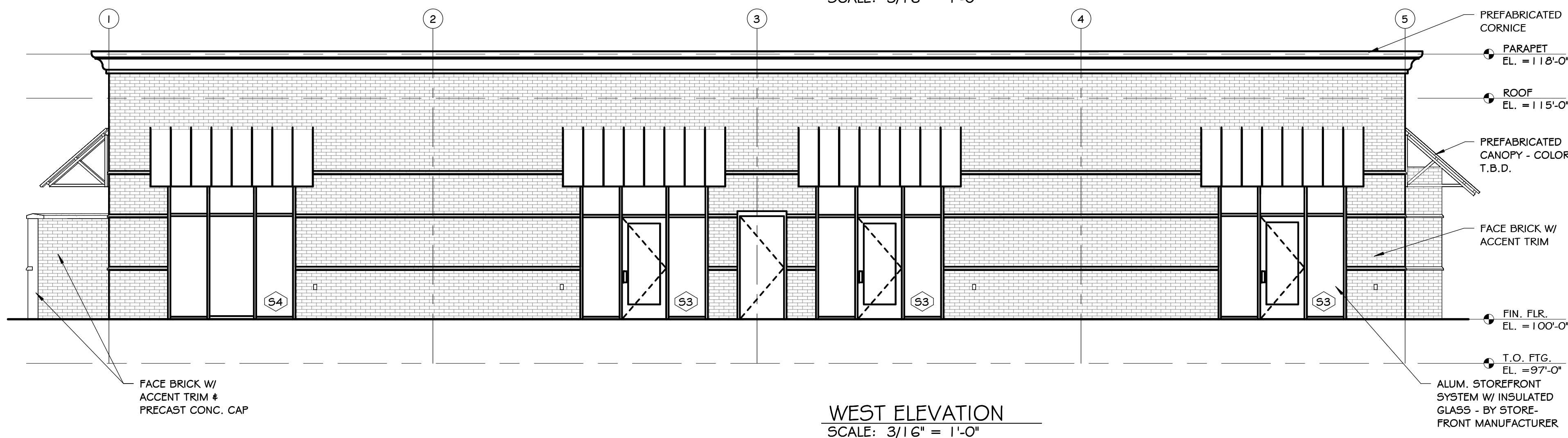
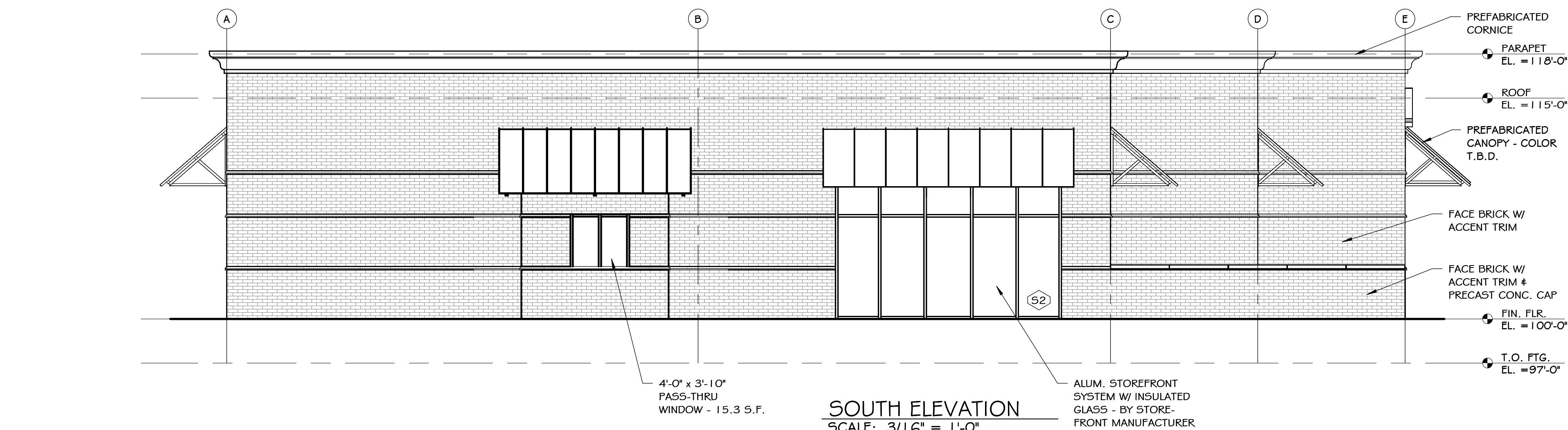


NORTH ELEVATION
SCALE: 3/16" = 1'-0"



EAST ELEVATION
SCALE: 3/16" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

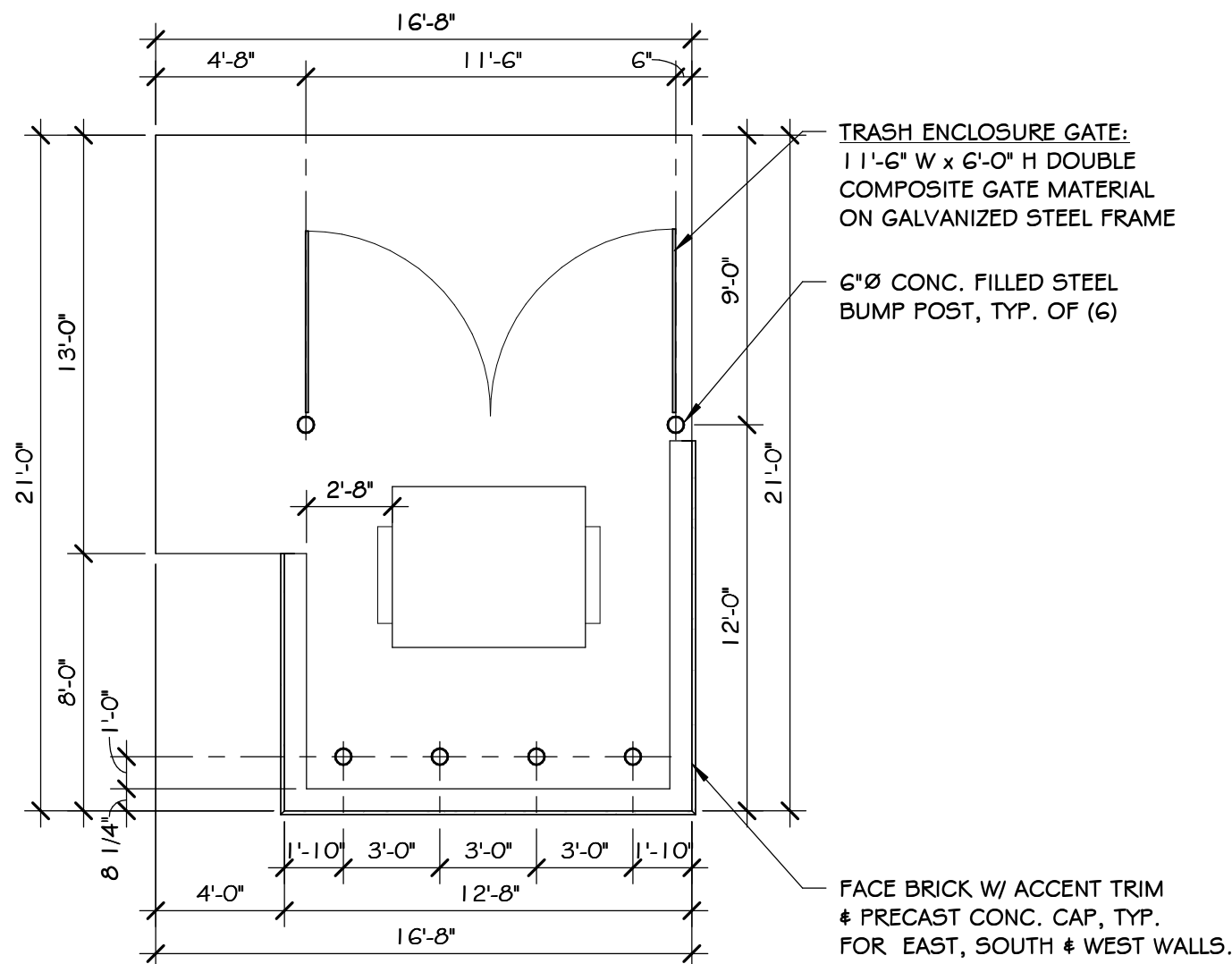


GENERAL NOTES:

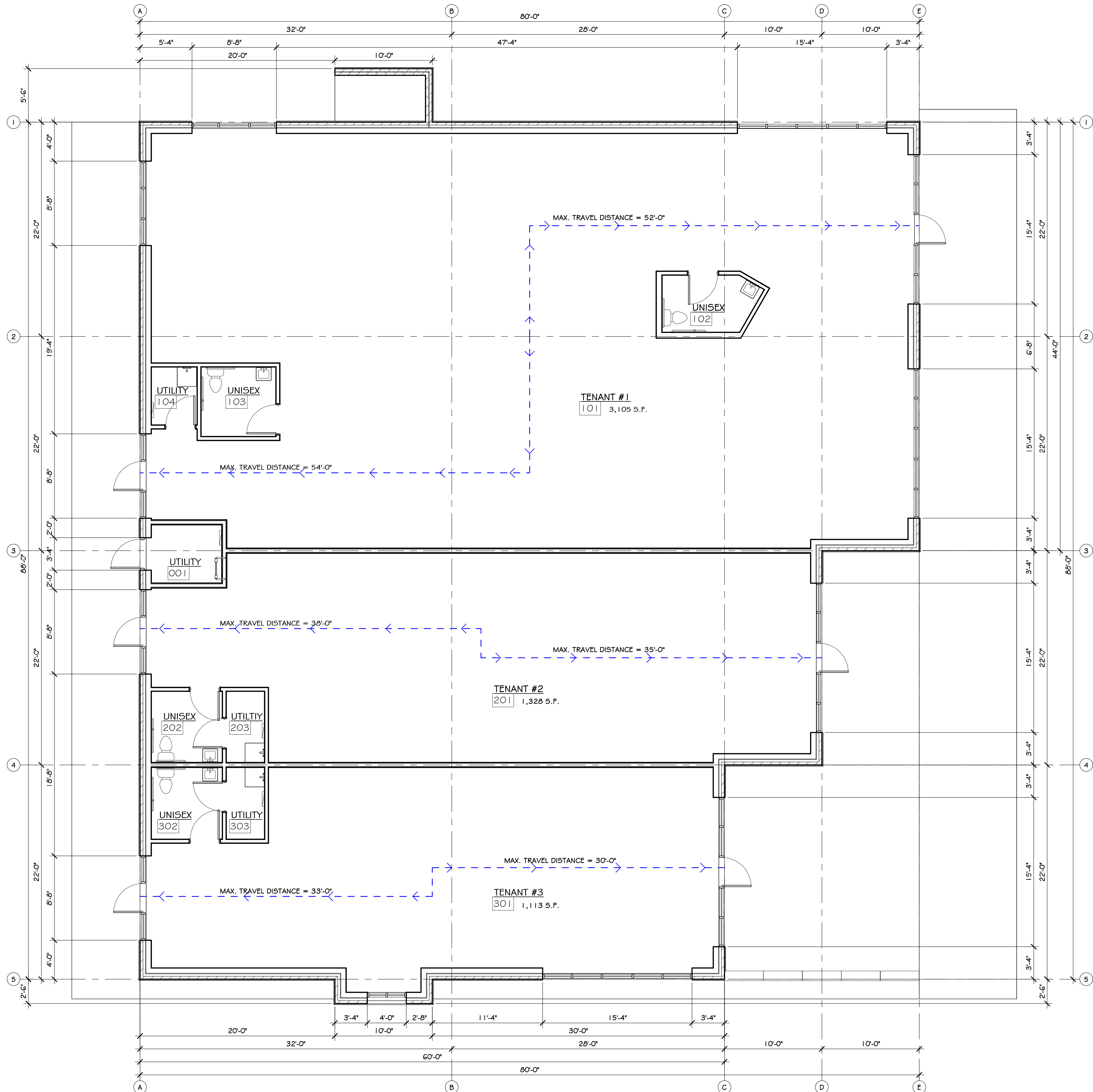
- MASONRY COURSING: COURSING WILL BE ESTABLISHED FROM FINISH GROUND FLOOR ELEVATION UNLESS INDICATED OTHERWISE.
- FLOOR DRAINS: UNLESS REQUIRED OTHERWISE, SET ALL FLOOR DRAINS 1/4" BELOW FLOOR LINE AND PITCH FROM 24" RADIUS.
- FIELD MEASURE AND VERIFY OR REVISE DIMENSIONAL INFORMATION TO THE EXTENT REQUIRED TO EXECUTE THE WORK REQUIRED ON THE CONTRACT DOCUMENTS.
- UNLESS INDICATED OTHERWISE, INTERIOR WALLS SHALL EXTEND TO BOTTOM OF STRUCTURE.
- UNLESS INDICATED OTHERWISE, FLOOR MATERIAL CHANGES SHALL OCCUR BENEATH DOORS OR THRESHOLDS.
- UNLESS INDICATED OTHERWISE, ALL NEW AND EXISTING UNFINISHED EXPOSED TO VIEW MATERIALS AND SURFACES OCCURRING WITHIN AREAS OF RENOVATION SHALL RECEIVE A PAINT FINISH -- SEE SPEC.
- WHERE RATED PARTITIONS ARE PENETRATED BY FIRE EXTINGUISHER CABINETS, WATER COOLERS, ELECTRICAL DISTRIBUTION PANELS AND OTHER SIMILAR ITEMS, PROVIDE RECESS OF EQUAL RATING TO PARTITION.
- GYPSUM BOARD PARTITION SYSTEMS:
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Drawn by: KJB

FLOOR PLAN

SCALE: AS NOTED

Sheet No.

A2.1

Project No.

23-082



12007 Sunrise Valley Drive, Suite 430
Reston, Virginia 20191
www.gobrick.com | 703-620-0010

ENVIRONMENTAL PRODUCT DECLARATION

U.S.–Canada Industrywide Clay Brick



**Certified
Environmental
Product Declaration**
www.nsf.org

Date of Issue: Oct. 7, 2020
Valid Until: Oct. 7, 2025
Declaration No.: EPD10447

PARTICIPATING BRICK PRODUCERS

The following brick producers participated in the data collection process that informed the development of the LCIs presented in this report.

Acme Brick Company

3024 Acme Brick Plaza
Fort Worth, TX 76109
brick.com

Belden Brick Company

700 W. Tuscarawas St.
Canton, OH 44701
beldenbrick.com

Bowerston Shale Company

515 Main St.
Bowerston, OH 44695
bowerstonshale.com

Brampton Brick, Inc.

1256 E. County Road 950 N.
Farmersburg, IN 47850
bramptonbrick.com

Endicott Clay Products Co.

57120 707th Road
Endicott, NE 68350
endicott.com

General Shale, Inc.

3015 Bristol Highway
Johnson City, TN 37601
generalshale.com

Glen-Gery Corporation

1166 Spring St.
Wyomissing, PA 19610
glengery.com

Hebron Brick Company

3280 Veterans Blvd. S.
Suite 320
Fargo, ND 58104
hebronbrick.com

Lee Brick & Tile Company

3704 Hawkins Ave.
Sanford, NC 27330
leebrick.com

Meridian Brick LLC

6455 Shiloh Road, Suite D
Alpharetta, GA 30005
meridianbrick.com

Meridian Brick Canada Ltd.

5155 Dundas St. W.
Burlington, ON L7R 3Y2
Canada
meridianbrick.com

Pine Hall Brick, Inc.

2701 Shorefair Drive
Winston Salem, NC 27105
pinehallbrick.com

Statesville Brick Company

391 Brick Yard Road
Statesville, NC 28677
statesvillebrick.com

1. Demonstration of verification

This document is a Type III industry-average Environmental Product Declaration (EPD) describing clay brick produced in the United States (U.S.) and Canada. A list of clay brick production companies that participated in the development of this EPD is included on the cover (previous) page.

This EPD is certified by NSF to conform to the Product Category Rule (PCR) referenced below, which is based on ISO 21930 (ISO 2007) as well as to the requirements of ISO 14025 (ISO 2006c). NSF also verifies that the life cycle assessment (LCA) upon which it is based conforms to the requirements of ISO 14044 (ISO 2006b).

Since EPDs developed under this PCR only cover the cradle-to-gate impacts of clay brick, clay brick pavers and structural clay tiles using a declared unit, the results cannot be used to compare between products.

Table 1. Information on EPD holder, reference standards and program operator

Declaration holder	Brick Industry Association 12007 Sunrise Valley Drive, Suite 430 Reston, VA 20191 USA www.gobrick.com
Declaration number	EPD10447
Declared product	Clay brick
Type of EPD	Cradle-to-gate
Declared unit	1 m ³
Core PCR	ISO 21930:2007, Sustainability in building construction — Environmental declaration of building products
Category PCR	ASTM Product Category Rule for Clay Brick, Clay Brick Pavers and Structural Clay Tile
PCR review	PCR review was conducted by: <ul style="list-style-type: none"> • Christoph Koffler, Ph.D., chairperson, thinkstep, Inc. • John P. Sanders, Ph.D., PE, The National Brick Research Center • Christine A. Subasic, PE, consulting architectural engineer For further information, please contact cert@astm.org
Period of validity	Five (5) years from date of issue

Independent verification of the declaration and data, according to ISO 21930:2007 and ISO 14025:2006, has been carried out by an external verifier.

Third-party verifier	Terrie Boguski, Harmony Environmental 913-780-3328 tboguski@harmonyenviro.com
Program operator	NSF Certification, LLC 789 N. Dixboro Road Ann Arbor, MI 48105 USA www.nsf.org
Date of issue	10/7/2020

2. Description of the product

Clay brick products are primarily composed of clays, shales and small amounts of additives to achieve a desired profile of properties (e.g., strength, color). The product under study is clay brick produced in the U.S. and Canada, meeting one or more of the specifications described in Table 2:

Table 2. Specifications of clay brick products under study

Facing Brick	ASTM C216 Standard Specification for Facing Brick (Solid Masonry Units Made from Clay or Shale)
	CSA A82 Fired masonry brick made from clay or shale
Hollow Brick	ASTM C652 Standard Specification for Hollow Brick (Hollow Masonry Units Made from Clay or Shale)
	CSA A82 Fired masonry brick made from clay or shale
Thin Veneer Brick	ASTM C1088 Standard Specification for Thin Veneer Brick Units Made from Clay or Shale
Building Brick	ASTM C62 Standard Specification for Building Brick (Solid Masonry Units Made from Clay or Shale)
	CSA A82 Fired masonry brick made from clay or shale
Chemical-Resistant Brick	ASTM C279 Specification for Chemical-Resistant Masonry Units
Firebox Brick	ASTM C1261 Specification for Firebox Brick for Residential Fireplaces
Glazed Brick (Single Fired)	ASTM C1405 Specification for Glazed Brick (Single Fired, Brick Units)
Glazed Brick (Double Fired)	ASTM C126 Specification for Ceramic Glazed Structural Clay Facing Tile, Facing Brick, and Solid Masonry Units
Industrial Chimney Lining Brick	ASTM C980 Standard Specification for Industrial Chimney Lining Brick
Industrial Floor Brick	ASTM C410 Specification for Industrial Floor Brick
Sewer Brick	ASTM C32 Specification for Sewer and Manhole Brick (Made From Clay or Shale)
Pedestrian and Light Traffic Paving Brick	ASTM C902 Standard Specification for Pedestrian and Light Traffic Paving Brick
Heavy Vehicular Paving Brick	ASTM C1272 Specification for Heavy Vehicular Paving Brick

Table 3 describes typical product composition, and packaging is described in Table 4.

Table 3. Material composition of clay brick produced in the U.S. and Canada

Material ¹	Mass in final product (kg/m ³)	Share in the final product ²
Clay and Shale	2,010	94.9%
Secondary material (ash, grog, others)	78.7	3.71%
Pigments	19.1	0.901%
Additives	10.6	0.499%
Average clay brick density	2,120	Not Applicable

1. No hazardous substances are used in the production of clay brick.

2. While all clay brick products contain the ingredients listed above, the average clay brick production data computed for this EPD represents the production-weighted average use of all materials by all participating plants. The data should not be interpreted to mean that the ratios presented in this table are the formulation for all clay brick products.

Table 4. Packaging used for clay brick produced in the U.S. and Canada

Material	Amount per declared unit	Unit
Strap (plastic and steel)	35.4	m/m ³
Dividers (paper and wood)	0.00499	m ³ /m ³
Wooden pallet	0.0278	Unit/m ³
Other packaging	0.905	kg/m ³

Clay brick are produced in a wide variety of sizes. The clay brick represented by the data used in this study are described by the dimensions shown in Figures 1 and 2.

Figure 1. Modular brick sizes (nominal dimensions)

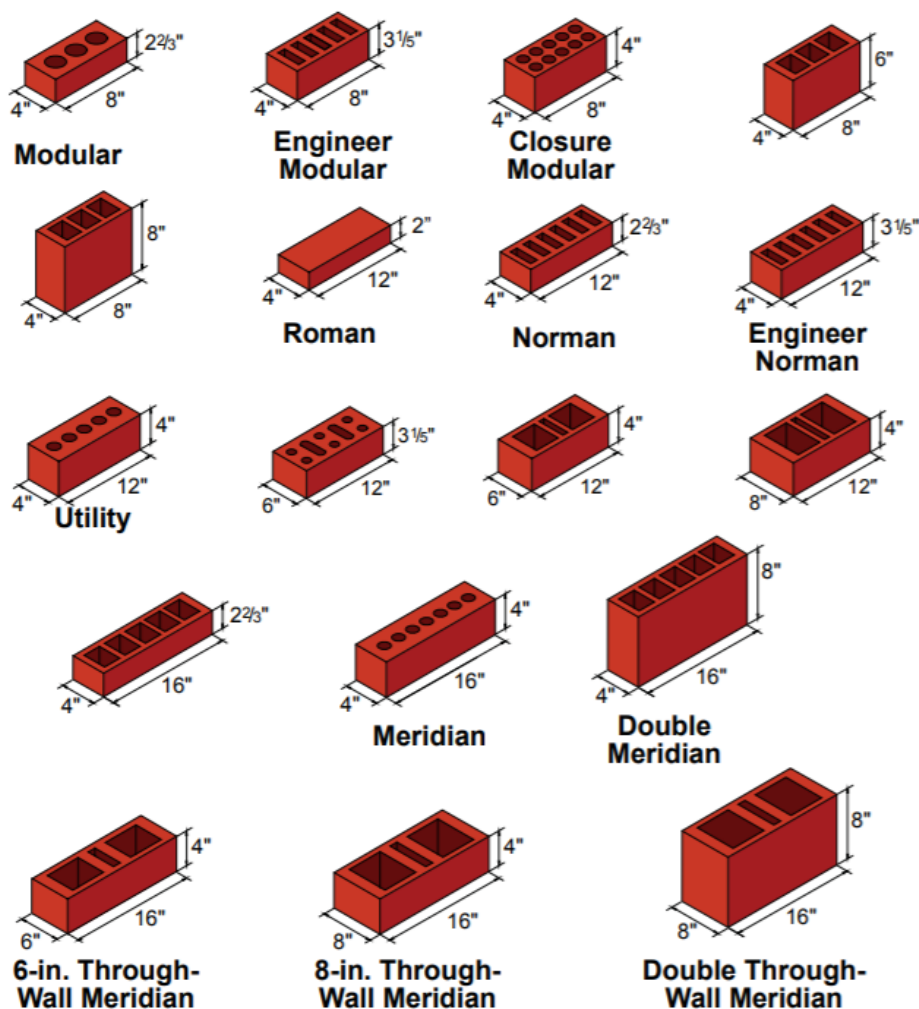
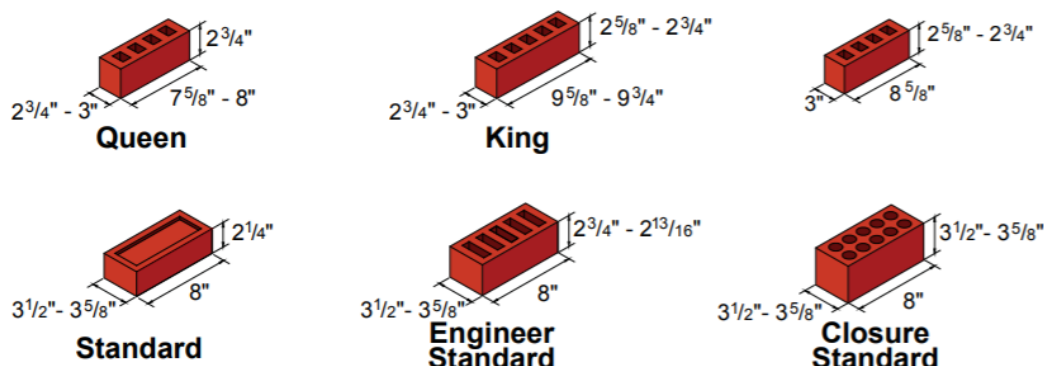


Figure 2. Non-modular brick sizes (specified dimensions)



3. Declared unit

The declared unit for this study is the production of one cubic meter (1 m^3) of clay brick awaiting delivery to a customer. The brick are either packaged in banded cubic formations or on wooden pallets and are stored typically in open air.

4. System boundary

4.1 Life cycle stages

This EPD describes clay brick production from cradle to gate, as depicted in Figures 3 and 4. This includes all modules (A1–A3) of the product stage as defined by the PCR. Specifically, product stage modules capture the following aspects of the life cycle:

- Extraction and processing of raw materials and packaging used to produce the clay brick
- Transportation¹ of raw materials and packaging from source to the clay brick production site
- Consumption of energy and water required to produce the clay brick
- Emissions and wastes generated from producing the clay brick
- Transportation of wastes from the clay brick production site to end of life
- End of life of wastes generated during clay brick production

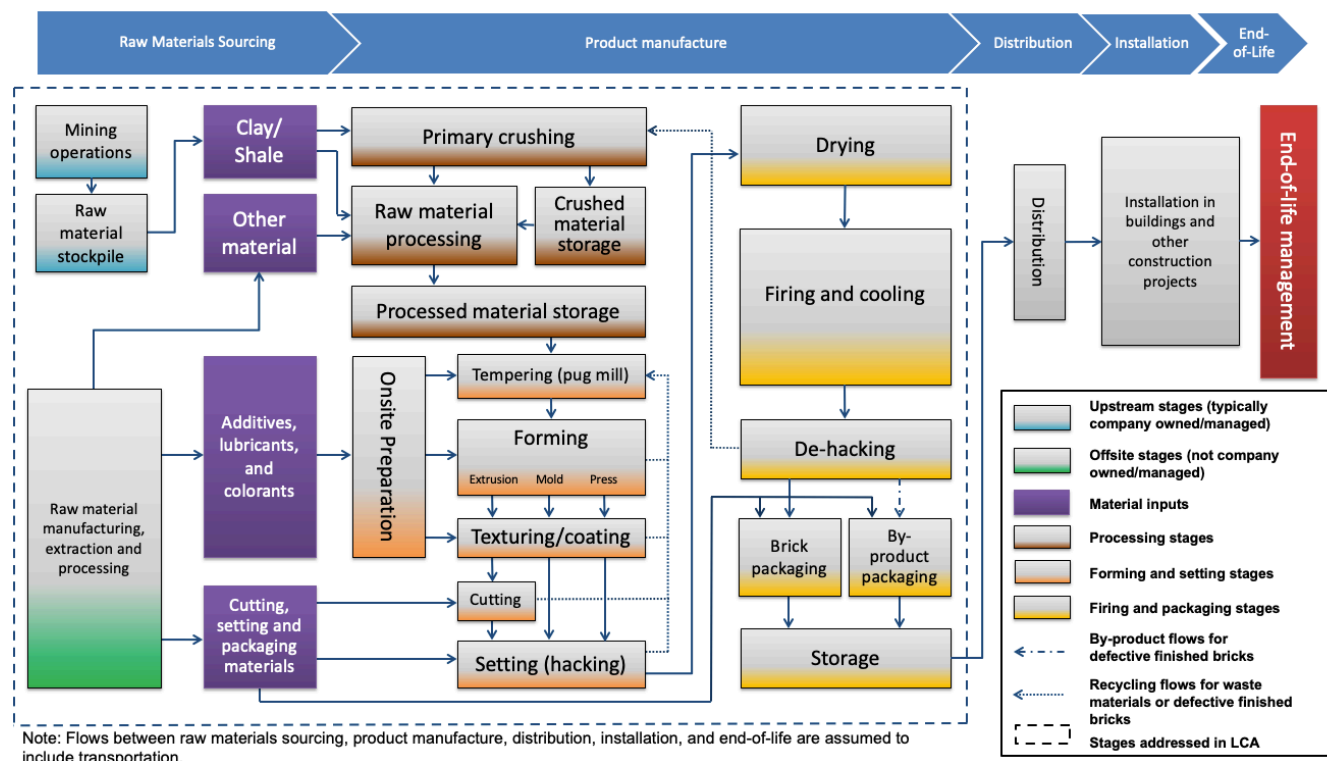
1. Empty backhaul is included as provided in the Ecoinvent datasets used in the analysis.

The Construction, Use and End-of-Life stages are excluded from the scope of the PCR and therefore from this EPD.

Figure 3. Life cycle stages considered in the EPD, as prescribed in the reference PCR.
Only A1, A2 and A3 are taken into account in a cradle-to-gate perspective.

Product stage			Construction process stage		Use stage							End-of-life stage			
Raw material supply	Transport	Manufacturing	Transport	Construction-installation process	Use	Maintenance	Repair	Replacement	Refurbishment	Operational energy use	Operational water use	De-construction demolition	Transport	Waste processing	Disposal
A1	A2	A3	A4	A5	B1	B2	B3	B4	B5	B6	B7	C1	C2	C3	C4

Figure 4. Typical production process for clay brick in the U.S. and Canada



4.2 Temporal and geographic boundaries

The clay brick production impacts estimated by the LCA represent production in the U.S. and in Canada in 2018. Data are still representative for the clay brick industry in 2020 as no major changes in manufacturing processes have occurred in the past years. Data and assumptions reflect equipment, processes and market conditions for this year. Background processes, such as quarry operations and electricity generation, are characterized by data that represent processes specific to the U.S. and Canada where information is available. In cases where this information is not available, the best available alternative information is used. Additional details describing the background data are provided in the report *Life cycle assessment of clay brick produced in the U.S. and Canada* developed for the Brick Industry Association (BIA). For further information on the report, please contact BIA via brickinfo@bia.org.

4.3 Exclusion and cut-off criteria

As per the PCR, the following items are not considered within the System Boundaries.

- Production, manufacture and construction of manufacturing capital goods and infrastructure
- Production and manufacture of production equipment, delivery vehicles and laboratory equipment
- Personnel-related activities (travel, furniture and office supplies)
- Energy and water use related to company management and sales activities that may be located either within the factory site or at another location

As described in the PCR, if a flow is less than 1% of the cumulative mass of the system model, then it may be excluded, provided that its environmental relevance is minor. All product components and production processes are included when the necessary information is readily available or a reasonable estimate can be made. The processes listed in Table 5 are excluded from the study due to lack of reliable data and expected low contribution to impact.

**Table 5. Flows excluded from the LCA
and their contribution to total mass input**

Flow	Contribution to total input, by mass
Secondary pigments	0.040%
Grog	0.116%
Furnace bottom ash	0.387%
Other secondary materials	0.357%
Total	0.900%
CUT-OFF RULE	<1%

4.4 Allocation approach

Allocation of inventory flows and subsequently environmental impact is relevant when assets are shared between product systems. For co-products, no credit is considered, and no allocation is applied due to the negligible amounts of co-products produced. Including co-products would not alter the results of the study.

5. Representation of the U.S. and Canada clay brick production

The life cycle impact assessment (LCIA) results presented by this EPD are calculated using an industry average LCI of U.S. and Canada clay brick production. The LCI is assembled with data shared by 13 brick producers through a survey of 2018 operations.

The study represents 31% of 2018 U.S. brick production and 48% of 2018 Canadian brick production. Overall, the study captures 32% of 2018 brick production across the U.S. and Canada.

The average electricity mixes for the U.S. and Canada are used to calculate impacts of electricity generation. The production share taking place in each country is applied to split the average electricity consumption value between the two mixes.

5.1 Production technology

Clay brick can be produced using different technologies. The clay brick described by this EPD are produced under the profile of production technologies shown in Table 6.

Table 6. Clay brick production technologies applied in the making of the product described by this EPD

Production technology	Percent of clay brick produced per production technology
Stiff mud	83%
Soft mud	5%
Stiff and soft mud	13%

About 90% of brick in the U.S. and 100% in Canada are produced by the stiff-mud process (BIA 2006, Meridian 2020), thus making this EPD representative of the technologies used in these countries.

5.2 Limitations

This EPD represents average environmental performance of clay brick production in the U.S. and Canada. It considers only plants located in the U.S. and Canada, although some participating producers may operate elsewhere in the world.

The information provided in this EPD may not adequately represent brick production systems that differ greatly from those captured by the data used in the underlying LCA. Additionally, EPDs from different programs (using a different PCR) may not be comparable.

Life cycle impact assessment results present potential and not actual environmental impacts. They are relative expressions that are not intended to predict the final impact or risk on the natural media or whether standards or safety margins are exceeded. Additionally, these categories do not cover all the environmental impacts associated with human activities. Impacts such as noise, odors, electromagnetic fields and others are not included in the present assessment.

5.3 Additional information regarding LCA methodology

Additional information regarding databases and impact methodologies used for conducting the LCA for this EPD can be found in the 2020 report *Life cycle assessment of clay brick produced in the U.S. and Canada*, developed for the Brick Industry Association.

6. Life cycle assessment results

Computation of the cradle-to-gate impacts of producing clay bricks have been carried out with Simapro (v. 9.0.0.49 developed by PRé Consultants, www.pre.nl), using as database Ecoinvent 3.4 allocation, cut-off by classification databases (<http://www.ecoinvent.org/home>). The impact categories are calculated using characterization factors specified in version 2.1 of U.S. EPA TRACI (EPA 2012). The results are presented in Table 7.

Table 7. Life-cycle results for clay brick production

Metric	Cradle-to-gate total, per cubic meter of brick	Unit
Environmental impact		
Global Warming Potential	503	kg CO ₂ eq
Acidification Potential	1.52	kg SO ₂ eq
Eutrophication Potential	0.888	kg N eq
Smog Potential	15.6	kg O ₃ eq
Ozone Depletion Potential	0.0000629	kg CFC-11 eq
Total primary energy consumption		
Nonrenewable Fossil	8,210	MJ
Nonrenewable Nuclear	516	MJ
Renewable (Solar, Wind, Hydroelectric and Geothermal)	38.3	MJ
Renewable (Biomass)	140	MJ
Material resources consumption		
Nonrenewable Material Resources	2,280	kg
Renewable Material Resources	0.00298	kg
Net Fresh Water (Inputs Minus Outputs)	2,810	L
Total waste generation		
Non-Hazardous Waste Generated	2.56	kg
Hazardous Waste Generated	0.00674	kg

7. Additional environmental information

No additional environmental information is provided.

8. References

1. ASTM (2014) Product Category Rules for Preparing an Environmental Product Declaration for Clay Brick, Clay Brick Pavers and Structural Clay Tile. July 2016. <https://www.astm.org/CERTIFICATION/EpdAndPCRs.html>
2. ISO (2006a) Environmental management – life cycle assessment – principles and framework. ISO 14040:2006. Geneva, Switzerland
3. ISO (2006b) Environmental management – life cycle assessment – requirements and guidelines. ISO 14044:2006. Geneva, Switzerland
4. ISO (2006c) Environmental labels and declarations – Type III environmental declarations – Principles and procedures ISO/TR 14025:2006. Geneva, Switzerland
5. ISO (2007) Sustainability in building construction – Environmental declaration of building products. ISO 21930:2007. Geneva, Switzerland
6. Meridian Brick Canada Ltd (Meridian) (2020) Discussions between BIA and Meridian. September 2020



Fast Facts

Brackets, Corbels & Dentil Blocks



Style, Performance, Service. That's the Fypon® advantage.

Fypon offers brackets, corbels and dentil blocks that can easily be added to the interior or exterior of the home for a decorative touch. These products are primarily used on porches, cornices and as part of a gable end decoration. Interior applications include supporting or hiding joints between a beam and wall, embellishing doorways, supporting shelving and hanging objects.

Features and Benefits

- Crafted from durable polyurethane, Fypon brackets, corbels and dentil blocks are lightweight and easy to install.
- They are insect- and moisture-resistant, and won't warp, crack, rot or split.
- Smooth and wood-grained options are available to complement any architectural or personal style.
- Come primed and ready to be stained or painted any color to match your home's architectural details.
- Backed by a lifetime limited warranty.

Note: See your Fypon seller or visit www.fypon.com for details on limited warranties and exclusions.



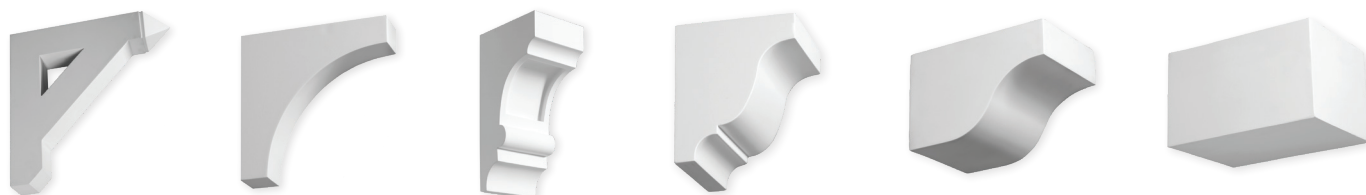
Fast Facts

Brackets, Corbels & Dentil Blocks



Smooth Brackets, Corbels and Dentil Blocks

- Available in a variety of styles and sizes ranging from a large 40" x 40" bracket to a small 3" x 3" dentil block.



Wood-Grained Brackets, Corbels and Dentil Blocks

- Available in a variety of styles and sizes ranging from a large 36" x 36" bracket to a small 5" x 3" dentil block.



Visit fypon.com or call 800-446-3040 for more information.

CHARTER TOWNSHIP OF ALLENDALE
COUNTY OF OTTAWA
STATE OF MICHIGAN

RESOLUTION #2024-01

At a regular meeting of the Township Board of the Charter Township of Allendale, Ottawa County, Michigan, held at the Allendale Charter Township Hall located at 6676 Lake Michigan Drive, Allendale Charter Township, Ottawa County, Michigan, on the ____ of ____, 2024 at 7:00 p.m. local time.

PRESENT: _____

ABSENT: _____

It was moved by member _____ and supported by member _____ that the following Resolution be adopted.

WHEREAS, DeJong Leasing, LLC (the "Applicant"), an limited liability company, whose address is 11828 Kathy Jo Lane, Allendale, Michigan, 49401, owns property located at 11145 68th Avenue, Allendale, Michigan, 49401, parcel number 70-09-27-126-047 and legally described in Exhibit A (the "Property"), which is one of the three parcels authorized to contain commercial buildings pursuant to Planned Unit Development (the "PUD") approval originally granted on April 9, 2007; and

WHEREAS, the Applicant applied to the Township for a major amendment to the PUD as shown in the site plan titled The Raymond Building, prepared by Nederveld, Inc., dated 12/05/23, Project No. 21201161 including:

1. Sheet No C-201, Existing Conditions and Demolition Plan;
2. Sheet No C-205, Site Layout Plan;

3. Sheet No C-206, Deferred Parking and Truck Turn Plan;
4. Sheet No C-300, Grading and Soil Erosion Control Plan;
5. Sheet No C-400, Utility Plan;
6. Sheet No L-100, Landscape Plan;
7. Sheet Number E1.1, Job Number 2309-135 prepared by WLP Associates, titled The Raymond Building, Site Lighting Calculations, dated 09-21-2023;
8. Sheet Number A1.1, Project No. 23-082 prepared by WLP Associates and Duke Construction, titled The Raymond Building, Elevations, dated 10-12-23;
9. Sheet Number A2.1, Project No. 23-082 prepared by WLP Associates and Duke Construction, titled The Raymond Building, Floor Plan, dated 10-12-23; and
10. An application (4 pages);
11. A project narrative provided by Nederveld titled The Raymond Building – 11145 68th Avenue Allendale Township, Michigan (1 page);
12. A Trip Generation Analysis provided by Nederveld titled The Raymond Building – 11145 68th Avenue Allendale Township, Michigan (1 page); and

WHEREAS, before providing a recommendation to approve a request for approval of the Plan, the Township Planning Commission held a public hearing on the proposed major amendment to the PUD on December 4, 2023 and gave notice as required by the Michigan Zoning Enabling Act, Act 110 of 2006, as amended; and

WHEREAS, proper notice of the public hearing on the major amendment to the PUD having been given as is required by the Michigan Zoning Enabling Act, Act 110 of 2006, as amended, as is evidenced by the Affidavit of Publication and Mailing on file in the office of the

Township Clerk; and

WHEREAS, before taking any action to approve or deny a request for approval of the Plan, it is necessary that the Township Board hold a public hearing on the proposed major amendment to the PUD and give notice as required by the Michigan Zoning Enabling Act, Act 110 of 2006, as amended; and

WHEREAS, before authorizing approval of the Plan, the Township Board held a public hearing on the proposed major amendment to the PUD on January 8, 2024 and gave notice as required by the Michigan Zoning Enabling Act, Act 110 of 2006, as amended; and

WHEREAS, proper notice of the public hearing on the major amendment to the PUD having been given as is required by the Michigan Zoning Enabling Act, Act 110 of 2006, as amended, as is evidenced by the Affidavit of Publication and Mailing on file in the office of the Township Clerk; and

WHEREAS, pursuant to the Allendale Charter Township Zoning Ordinance (the "Zoning Ordinance"), Article 12 – PUD Planned Unit Development District, the Township Board desires to approve/deny the Plan.

NOW, THEREFORE, BE IT RESOLVED THAT THE PLAN IS APPROVED/DENIED WITH THE FOLLOWING CONDITIONS:

1. The terms and conditions provided in the April 9, 2007 PUD approval remain in effect, except as otherwise provided herein.
2. The following uses are permitted on the Property:
 - a. Any generally recognized retail business that supplies non-food commodities on the premises within a completely enclosed building.
 - b. Personal service establishments conducting services on the premises, such as barber and beauty shops, shoe repair, tailoring and dry cleaning, health and fitness establishments, and other similar

- uses.
 - c. Office uses.
 - d. Medical, optical, dental, chiropractic, physical therapy and similar clinics and services.
 - e. Banks, credit unions, and similar financial businesses, including those with drive-through facilities.
 - f. Coin operated laundries.
 - g. Dancing, art and music studios.
 - h. Libraries, museums, public parks and similar public uses.
 - i. Catering establishments.
 - j. Retail building supply and equipment stores provided there is no outdoor storage or display of merchandise.
 - k. Retail nurseries and garden centers provided there is no outdoor storage or display of merchandise.
 - l. Pet shop including grooming services.
 - m. Establishments serving alcoholic beverages including establishments which make and sell their own alcoholic beverages on site. No live music is permitted. Selling of food is prohibited.
 - n. Shops or stores for carrying on the trade of electricians, decorators, painters, upholsterers, photographers, similar artisans except metal workers.
 - o. Funeral home/Mortuary.
 - p. The repair or assembly of products sold by an allowable use from this list, provided the repair or assembly does not constitute the principal use and all such work is performed inside. Repair of motorized vehicles is prohibited.
 - q. Utility and public service buildings including fire and police stations without storage yards.
3. Any speaker or other similar device used for the drive-through shall not exceed 70 decibels.
4. The hours of operation for the entire building shall be limited from 6:00am to 12:00am.
5. The Ottawa County Road Commission shall verify that the existing driveway apron is sufficient for access to the site from 68th Avenue or necessary improvements are performed prior to occupancy of any structure within the Plan.

6. [INSERT CONDITION]
7. [INSERT CONDITION]
8. These conditions shall be binding on the Applicant and all successor owners or parties in interest in the Plan, or any portion of the Plan.
9. Any violation of these conditions shall constitute a violation of the Zoning Ordinance and, in addition to the remedies provided therein, shall be cause for the Township Board to suspend or revoke any zoning or building permit applicable to the project.

YEAS: _____

NAYS: _____

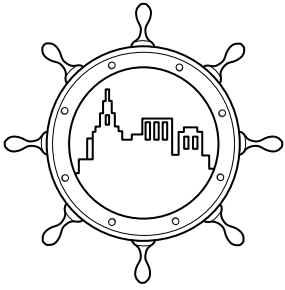
Resolution declared adopted on January 8, 2024.

Jody L. Hansen
Allendale Charter Township Clerk

Adam Elenbaas
Allendale Charter Township Supervisor

Exhibit A

PART OF NW 1/4 COM S 0D 33M 03S E 418.52 FT & N 89D 04M 57S W 33.01 FT FROM N 1/4 COR, TH S 0D 33M 03S E 141 FT ALG W LI OF 68TH AVE, S 84D 44M 53S W 320.08 FT, N 0D 33M 03S W 183.11 FT, N 89D 26M 57S E 120.72 FT, TH S 85D 58M 16S 198.92 FT TO BEG. SEC 27 T7N R14W 1.209 AC.



Fresh Coast Planning

119 1/2 Washington Avenue, Studio B
Grand Haven, MI 49417

www.freshcoastplanning.com

Gregory L. Ransford, MPA

616-638-1240

greg@freshcoastplanning.com

Julie Lovelace

616-914-0922

julie@freshcoastplanning.com

Kevin Yeomans

616-821-4969

kevin@freshcoastplanning.com

Alexis Sorrell

616-773-4638

alexis@freshcoastplanning.com

MEMORANDUM

To: Allendale Charter Township Board of Trustees

From: Gregory L. Ransford, MPA

Date: December 18, 2023

Re: Emerald Springs – Tentative Preliminary Plat Phase 1

Pursuant to the Allendale Charter Township Subdivision Ordinance (ACTSO) and the State of Michigan Land Division Act, the Planning Commission recommended approval of the Tentative Preliminary Plat for Phase One of the Emerald Springs Planned Unit Development (PUD), which is located south of Lake Michigan Drive on the west side of 60th Avenue. As you know, Emerald Springs was recently approved through the PUD process to establish 98 single-family residential lots.

Below is a synopsis of the application, the action provided by the Planning Commission, and the responsibility of the Allendale Charter Township Board of Trustees (ACTBT). In addition, pursuant to Section 3.2.2c of the ACTSO, attached is the Emerald Springs Tentative Preliminary Plat Report containing the recommendation of the Planning Commission.

Application

Street Trees

As you are aware, you recently adopted an amendment to the ACTSO to require evidence of approval from the Ottawa County Road Commission (OCRC) for the placement of street trees. As you may be aware, the applicant was recently approved for a PUD amendment and special use to establish private roads within the development. As a result, the OCRC has no authority over the internal street trees.

Lot Width Increase

As you will note within the application materials, the applicant has indicated that they intend to increase each lot width from what was approved in the PUD, by two feet. When we questioned where they will acquire additional property the applicant indicated that the overall number of units are “not proposed to change at this time” and a “major PUD amendment may be required in a future phase...”

While we prefer their intention is addressed now, given that a significant amount of property remains after Phase One to allow for an amendment, the Planning Commission concluded it was reasonable for this phase to continue without those details.

Sidewalk Variance Request

As you may recall, the related PUD approval allowed for one sidewalk, increased in width, rather than a sidewalk on each side of the street, the latter of which is required by the ACTSO. Given this requirement, the applicant has requested a variance pursuant to Section 6.1 – General of the ACTSO. The provisions of said section required a recommendation from the Planning Commission to the ACTBT regarding the variance request and the ultimate authority rests with the ACTBT for variances within a plat. The Planning Commission recommend that the requested variance is granted. Given this and to authorize the variance, you shall provide your findings based on the standards of Section 6.1. For your convenience, below is a copy of Section 6.1 of the ACTSO and its related standards.

Section 6.1 - General

1. The Township Board may, on written application from the sub-divider and after receipt of a recommendation from the Planning Commission, grant a variance from the provisions or requirements of this Ordinance which are under the Board's control. A public hearing shall be held by the Planning Commission prior to making its recommendation to the Township Board. Notice of this hearing shall be given in the same manner as is provided in the Township Rural Zoning Act, Michigan Act 184 of 1943, as amended, or any similar successor statute, with respect to the adoption or amendment of a Township Zoning Ordinance. No variance shall be recommended by the Planning Commission or granted by the Township Board unless there is a finding:
 - a. That there are such special circumstances or conditions affecting the property in question such that strict application of the provisions or requirements of this Ordinance would clearly be impracticable or unreasonable.
 - b. The granting of the variance will not be detrimental to the public welfare or injurious to other property in the areas in which the proposed plat is situated.
 - c. That the variance will not violate the provisions of the Subdivision Control Act.
 - d. That the variance will not have the effect of nullifying the interest and purpose of this Ordinance and the Development Plan.

Planning Commission Action

Public Hearing

In accordance with Section 71 of the Michigan Planning Enabling Act, the Planning Commission held a public hearing on the tentative preliminary plat. No public comments were provided.

Recommendation

The Planning Commission recommended approval of the request by a vote of 6-0 with one member absent. The approval was conditioned on outside agency permits, as outlined within the aforementioned Report of the Planning Commission.

Board of Trustees Responsibility

Pursuant to Section 3.2.2d of the ACTSO, the Allendale Charter Township Board of Trustees shall tentatively approve and note its approval on the copy of the preliminary plat to be returned to the applicant or set forth its reasons for denial in writing and the requirements that must be met for tentative preliminary plat approval. Given that the Planning Commission determined the applicant met the requirements of the ACTSO with conditions, in the event the Board of Trustees provides approval of the project, approval confers upon the applicant approval of lot sizes, lot orientation, and street layout for a period of one (1) year.

Subsequently, the applicant shall return for final preliminary plat approval to the Board of Trustees and provide evidence of approval from all relevant authorities (Ottawa County Road Commission, Ottawa County Water Resources Commissioner, Ottawa County Plat Board, Michigan Department of Environmental Quality (when applicable) and etcetera at the time of submission.

No public hearing is required before the Board of Trustees. If you have any questions, please let us know.

GLR
Planner

Attachments

EMERALD SPRINGS TENTATIVE PRELIMINARY PLAT REPORT of the PLANNING COMMISSION of ALLENDALE CHARTER TOWNSHIP

Pursuant to Section 3.2.2C of the Allendale Charter Township Subdivision Ordinance

EXECUTIVE SUMMARY

On June 27, 2016, Allendale Charter Township adopted the Subdivision Ordinance for Allendale Township, Ottawa County, Michigan. The purpose of this Ordinance is to regulate the subdivision of land within the Township in order to promote the public health, safety and general welfare; to require and regulate the preparation and presentation of preliminary and final plats; to establish minimum plat requirements; to require minimum improvements to be made or guaranteed by the sub-divider and; to provide a procedure to be followed by the Allendale Charter Township Board and the Allendale Charter Township Planning Commission to regulate preliminary and final plats.

SECTION 3.2.2C – PRELIMINARY PLAT

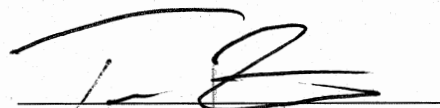
The Planning Commission shall review the preliminary plat and provide its report and recommendation to the Township Board not more than sixty (60) days from the date of filing of the preliminary plat.

RECOMMENDATION

On behalf of the Allendale Charter Township Planning Commission, the following summary as well as the attached December 4, 2023 regular meeting minutes have been provided as our recommendation.

1. Review was conducted by the Township Engineer regarding the initial plan submission. While his review may be satisfied, given that we have not received subsequent comments on the resubmission, we recommend a condition that his review is satisfied by the applicant prior to approval.
2. Review was conducted by the Township Fire Department regarding the initial plan submission. While his review may be satisfied, given that we have not received subsequent comments on the resubmission, we recommend a condition that his review is satisfied by the applicant prior to approval.
3. Review was conducted by the Township Superintendent of Public Works generally without concern.
4. Review was conducted by the Township Planner and completed without concerns.
5. The Master Deed and Covenants were found satisfactory by the Township Legal Counsel.
6. We recommend a variance for the sidewalks as shown on the site plan, pursuant to Section 6.1 – General of the Allendale Charter Township Subdivision Ordinance.
7. All agency permits shall be provided in accordance with the Allendale Charter Township Subdivision Ordinance, including but not limited to, the Michigan Department of Environment, Great Lakes, and Energy, the Ottawa County Road Commission, and the Ottawa County Water Resources Commissioner.

A recommendation of approval was provided by Nadda and seconded by Zuniga and carried unanimously.


Tom Zuniga, Secretary
Planning Commission
Allendale Charter Township



November 10, 2023

Mr. Gregory Ransford
Allendale Charter Township
6676 Lake Michigan Drive
PO Box 539
Allendale, MI 49401

RE: Emerald Springs Tentative Preliminary Plat
Allendale Charter Township, Ottawa County, Michigan

Mr. Ransford:

Enclosed with this cover letter are three (3) sets of the required submittal items for Emerald Springs in Allendale Township. These items are submitted for Planning Commission review at the December 4, 2023, Planning Commission meeting.

We have recently revised the plan set in response to the plan review comments we recently received from the Township Planner, Township Engineer, Fire Department, and Allendale Public Utilities. Those revisions are as follows (reviewer comment in *italics*, our response in **bold** font):

October 16, 2023 Plan Review from Township Planner (Fresh Coast Planning)

General Comments

- *We do not see any reduction of the number of lots in the entire development. If this is correct, how does each lot increase in width by two feet without additional land?*

Overall number of units in PUD (98 units) is not proposed to change at this time. No major PUD amendment is proposed for this current application. A major PUD amendment may be required in a future phase, subject to zoning administrator determination.

Section 5.3 – Required Improvements

- *Section 5.3.1(i) – Sidewalks and Crosswalks – Please provide a sidewalk on each side of the streets. In the alternative, if a site condominium is pursued, rather than a plat, we believe that sidewalks on one side of the street may be acceptable, however, we would check with the Township Legal Counsel to confirm.*

Per the approved Planned Unit Development (PUD) for Emerald Springs and as allowed by Section 405-25 of the Township Subdivision of Land Ordinance, sidewalks are allowed one side of the street. Per the PUD zoning, required minimum sidewalk width is six feet. As this is now codified into zoning via the PUD, we are requesting that the Planning Commission and Township Board review this proposed variance as allowed under Section 405-25.

- *Section 5.3.1(m) – Street Trees – Please provide a street tree plan separate from the Illustrative Site Plan Rendering so we can determine compliance*

We have depicted street trees on the Landscape Plan.

November 8, 2023 Plan Review from Township Engineer (Fleis & Vandenbrink)

1. *The typical private road cross section on C-206 should match the typical section previously provided in the Civil Plans dated 9.27.2023*
 - a. *14.0' of Gravel required instead of 13.0'*
Gravel width is corrected on the revised plan set.
 - b. *2" of Asphalt Leveling Course = 220#/SYD, not 165#/SYD*
Asphalt depth is corrected on the revised plan set.
 - c. *Some structure offset callouts to be adjusted*
These callouts have been adjusted on the revised plan set.
2. *Define limits of Emergency Access Road Cross Section. Limits are not discernable from plan view.*

Emergency Access Road is shown as connecting to the existing road in the adjoining subdivision.

November 8, 2023 Plan Review from Township Fire Department

1. *Roadway width shall be a minimum of 26' wide, based on current plans the roadway measures at 24' wide.*
Roads are now depicted at 26 feet wide.
2. *Dead end cul-de-sac shall be a minimum of 96' diameter (48' Radius), based on the current plans the temporary dead end cul-de-sac measures at 84' diameter (42' Radius).*

Emergency Access Road is shown as connecting to the existing road in the adjoining subdivision.

August 23, 2023 Plan Review from Allendale Public Utilities

- *Our only comment is that the plans submitted on 10/18/2023 have different lot widths than the plans that have been approved for construction and dated 9/27/2023. This discrepancy must be addressed.*

Road width is now 26 feet on the Preliminary Plat plan set and on the forthcoming Construction Drawings (to be submitted separately to Allendale Public Utilities).

We are looking forward to the Planning Commission's review at the December 4, 2023, Planning Commission meeting. Should you have any questions or need additional information, please feel free to contact me at (616) 575-5190 or via email at rpulaski@nederveld.com.

Sincerely,

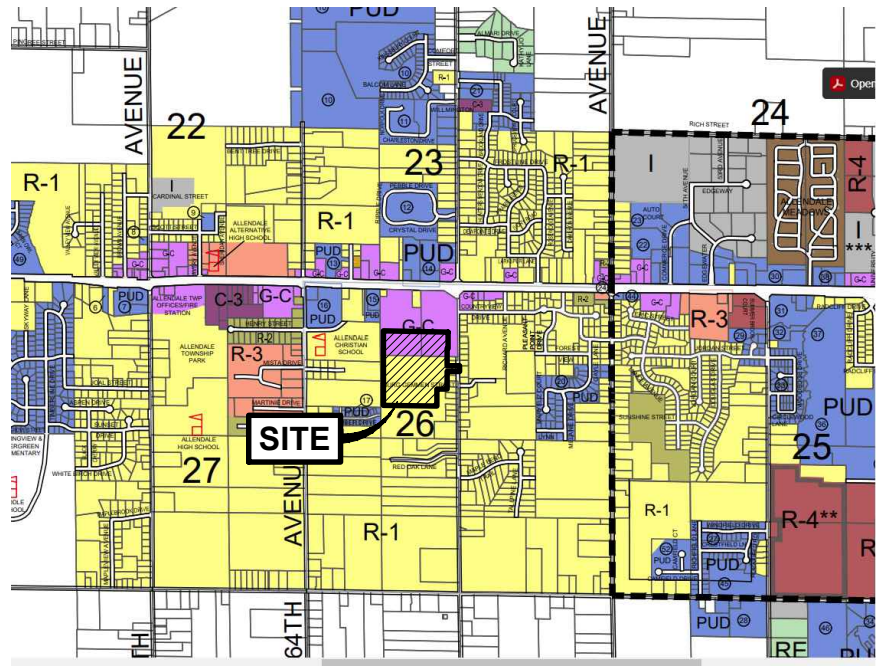
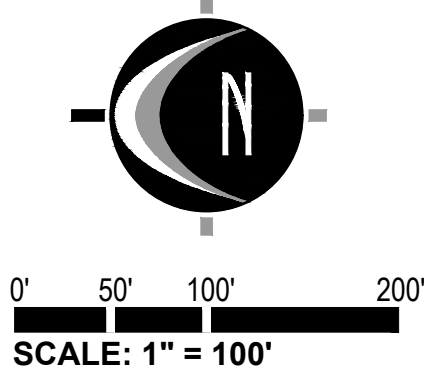


Rick Pulaski, P.E.
Project Manager

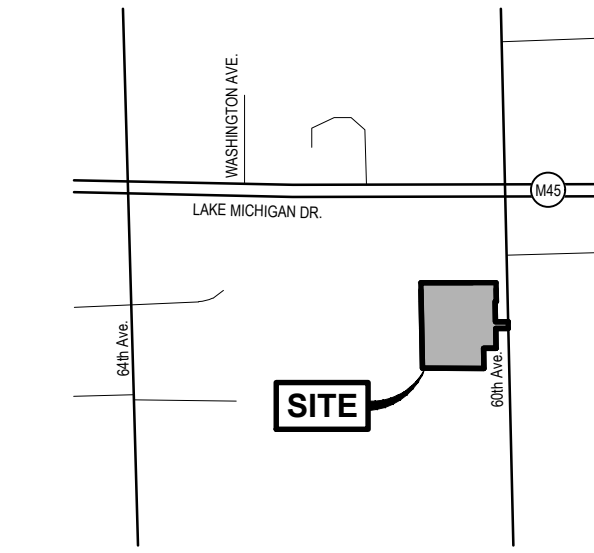
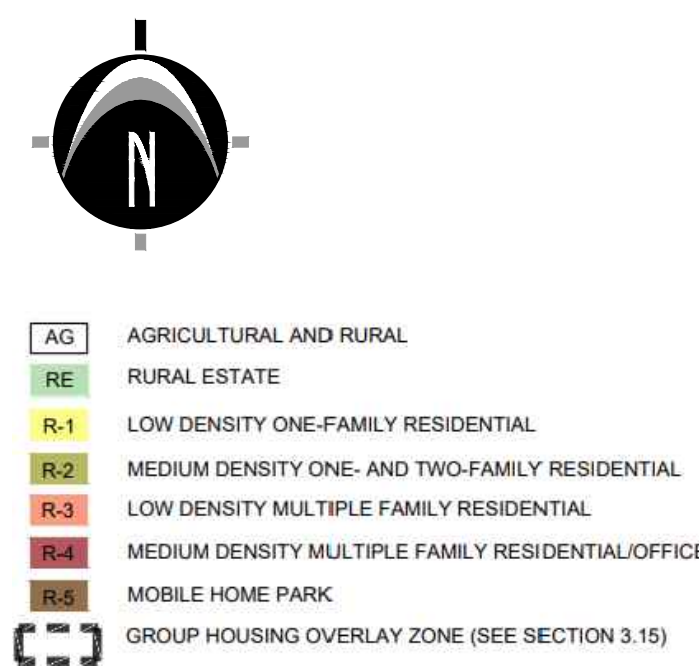
Enclosures

OVERALL PROPERTY DESCRIPTION

Part of the Northwest 1/4 of Section 26, Town 7 North, Range 14 West, Allendale Township, Ottawa County, Michigan, described as: Commencing at the North 1/4 corner of said Section; thence S00°52'00"E 2626.36 feet along the North and South 1/4 line of said Section 26 to the Center of said Section 26; thence N89°39'58"W 399.90 feet along the East and West 1/4 line of said Section to the Point of Beginning; thence continuing N89°39'58"W 914.56 feet along said East and West 1/4 line; thence N01°02'13"W 1272.00 feet along the West line of the East 1/2 of the Northwest 1/4 of said Section; thence S89°59'53"E 1118.18 feet; thence S00°52'00"E 282.00 feet along the West line of Ponshair's Subdivision, as recorded in Liber 25 of Plats, on Page 20, Ottawa County Records; thence S89°08'00"W 17.00 feet; thence S00°52'00"E 300.00 feet; thence N89°08'00"E 217.00 feet; thence S00°52'00"E 100.00 feet along said North and South 1/4 line; thence S89°08'00"W 217.00 feet; thence S00°52'00"E 296.04 feet; thence N89°39'58"W 182.95 feet parallel with the East and West 1/4 line of said Section; thence S00°52'00"E 300.00 feet to the Point of Beginning. Contains 31.53 acres. Subject to easements, restrictions and rights-of-way of record. Also subject to highway right-of-way for 60th Avenue over the most Easterly 33.00 feet thereof.



ZONING CONTEXT EXHIBIT



LOCATION MAP (NOT TO SCALE)



NEDERVELD
www.nederveld.com
800.222.1868
GRAND RAPIDS
217 Grandville Ave., Suite 302
Grand Rapids, MI 49503
Phone: 616.575.5190
ANN ARBOR
CHICAGO
COLUMBUS
HOLLAND
INDIANAPOLIS
ST. LOUIS

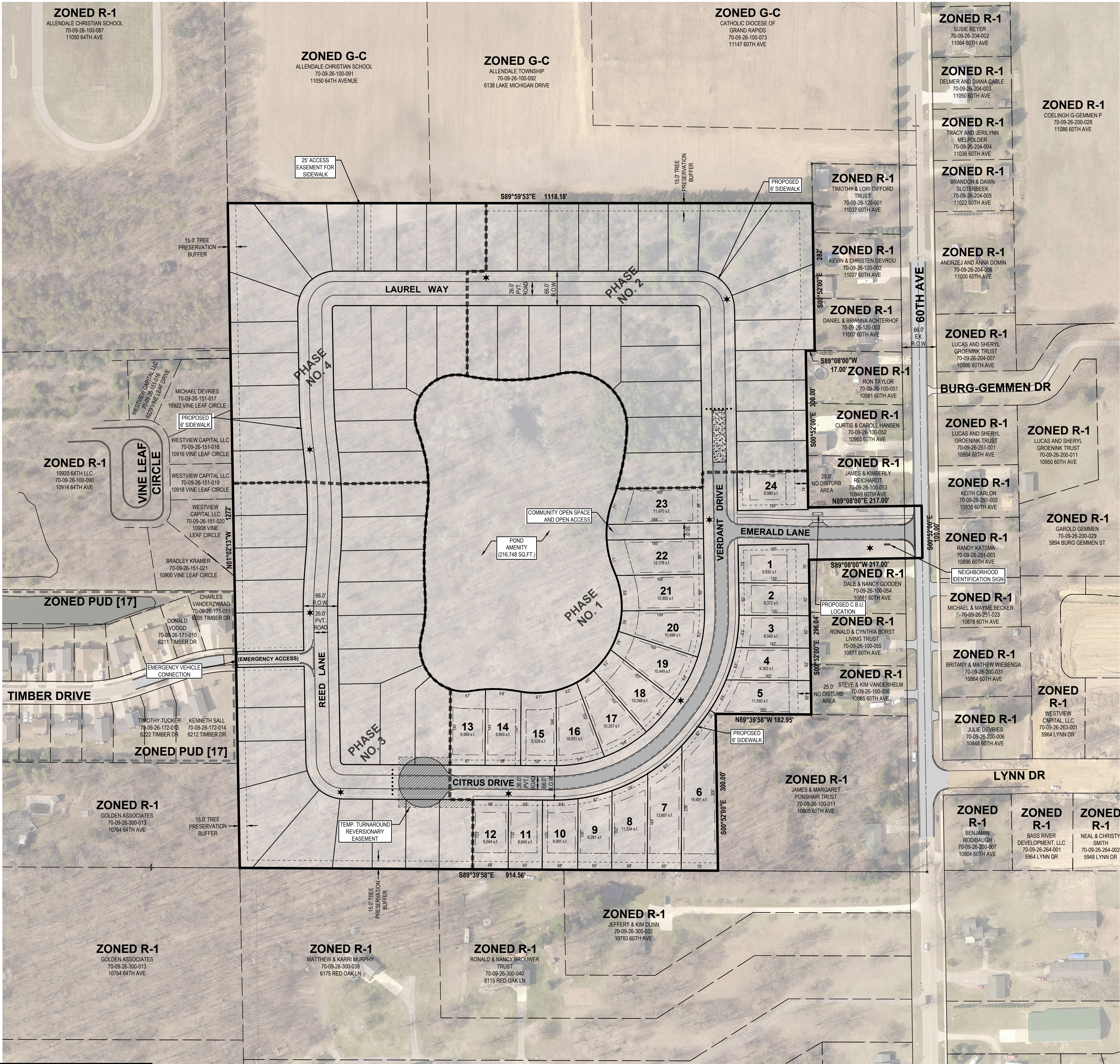
PREPARED FOR:
Red Three Land Investments

1188 East Paris Ave SE, Suite 100
Grand Rapids, MI
Phone: 616.455.0200

REVISIONS:
Title: Preliminary Plat Submittal
Drawn: JW Checked: RP Date: 2023.10.18
Title: Revised Preliminary Plat Submittal
Drawn: JW Checked: RP Date: 2023.11.10

**EMERALD SPRINGS
PRELIMINARY PLAT**
Existing Conditions Plan
10889 60TH AVENUE, ALLENDALE, MI 49401
PART OF THE NORTHWEST 1/4 OF SECTION 26, T7N, R14W,
ALLENDALE TOWNSHIP, OTTAWA COUNTY, MICHIGAN

STAMP:
STATE OF MICHIGAN
RICHARD A. PULASKI
ENGINEER
No. 52618
LICENSED PROFESSIONAL ENGINEER
Richard A. Pulaski
PROJECT NO:
18201950
SHEET NO:
C-201



GENERAL NOTES

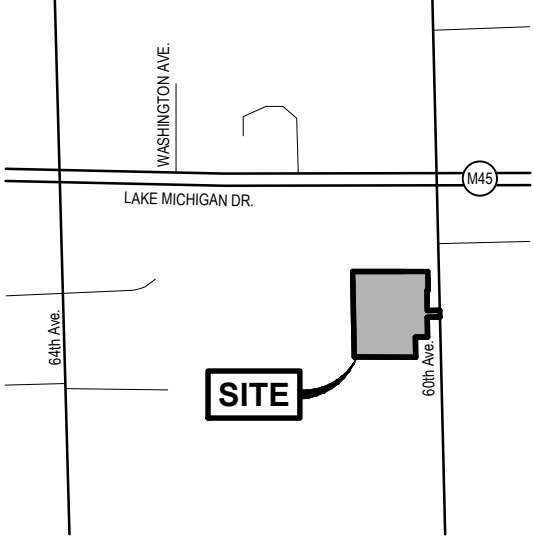
- CURRENT ZONING: PUD (PLANNED UNIT DEVELOPMENT)
- SUMMARY OF PROPOSED LAND USE:
 - GROSS SITE AREA = 31.5 ACRES (1,373,010 SQ. FT.)
 - AREA OF STORMWATER DETENTION (POND) = 216,748 SQ. FT.
 - ZONING OF PARCELS TO NORTH = G-C
 - ZONING OF PARCELS TO WEST = R-1 PUD
 - ZONING OF PARCELS TO THE SOUTH AND EAST = R-1
 - TOTAL PROPOSED UNITS = 92 SINGLE-FAMILY LOTS
 - OPEN SPACE PROVIDED = 5.1 ACRES (222,300 SQ. FT.)
- PUD SINGLE-FAMILY LOT SITE REGULATING STANDARDS
 - MINIMUM LOT WIDTH AT FRONT YARD SETBACK = 52 FT.
 - MAXIMUM BUILDING HEIGHT = 35 FT OR 2 1/2 STORIES
 - FRONT YARD SETBACK = 30 FT, 24 FT FOR LOTS THAT CONTAIN A SIDEWALK
 - SIDE YARD SETBACK = 5 FT, 0.03 FT. FOR LOTS 1 & 24 ALONG EMERALD LANE
 - REAR YARD SETBACK = 25 FT.
 - MIN. LOT AREA = 7,125 S.F.
- DENSITY COMPUTATION
 - SITE AREA = 31.5 ACRES
 - POND AMENITY(4.9 ACRESx50%) = 2.4 ACRES
 - NET DEVELOPMENT ACREAGE = 28.1 ACRES
 - MOR DWELLING UNITS PER ACRE = 7.26 DWELLING UNITS/ACRE
 - TOTAL ALLOWABLE DWELLING UNITS = 228 DWELLING UNITS
- THIS SITE WILL BE SERVICED BY PUBLIC SANITARY SEWER, PUBLIC WATERMAIN, AND STORM SEWER. SANITARY SEWER WILL BE EXTENDED FROM BOTH TIMBER DRIVE AND 60TH AVENUE INTO THE SITE. WATERMAIN WILL BE EXTENDED FROM BOTH TIMBER DRIVE AND 60TH AVENUE INTO THE SITE TO PROVIDE A LOOPED CONNECTION. SANITARY SEWER, WATERMAIN, AND STORM SEWER WILL GENERALLY BE PLACED WITHIN THE PROPOSED RIGHT-OF-WAYS FOR THE PROJECT AT STANDARD DEPTHS AND STANDARD SIZES. PLANS SHALL BE SUBJECT TO TOWNSHIP ENGINEER AND ALLENDALE UTILITIES DEPARTMENT REVIEW AND APPROVAL.
- UTILITIES TO SITE: THE AMENITY POND WILL PROVIDE STORMWATER DETENTION FOR THE SITE. STORMWATER WILL ALSO BE CAPTURED VIA CATCH BASINS WITHIN THE ROADWAY. ELECTRIC AND GAS UTILITIES WILL BE PLACED UNDERGROUND IN COMPLIANCE WITH TOWNSHIP STANDARDS.
- NO DISTURB AND TREE PROTECTION AREA: 63,197 SQ. FT.
- OPEN SPACE REQUIREMENTS PER ALLENDALE TOWNSHIP ORDINANCE: THERE IS NO DEFINED MINIMUM CALCULATION OF DEDICATED OPEN SPACE REQUIREMENT REQUIRED WITHIN A SINGLE FAMILY PUD. THE PROPOSED DEVELOPMENT, HOWEVER, PROVIDES A ROUGHLY 4.9 ACRE POND AS AN AMENITY.
- LANDSCAPING: 1 STREET TREE PER LOT WILL BE PROVIDED. FINAL SPECIES TO BE DETERMINED. SPECIES AND TREE SIZE SHALL COMPLY WITH ALLENDALE TOWNSHIP ORDINANCE. DEVELOPER RESERVES THE RIGHT TO PROVIDE ADDITIONAL LANDSCAPING AND TO PROVIDE AMENITY STRUCTURES IN OPEN SPACE AREAS WITHOUT FURTHER PLANNING COMMISSION OR TOWNSHIP BOARD REVIEW.
- STREET LIGHT LOCATIONS TO BE APPROVED BY CONSUMERS ENERGY.
- BUFFER AREAS: LOTS 1 & 24 WILL CONTAIN "BUFFER AREAS" ON RECORDED DOCUMENTS AT OTTAWA COUNTY REGISTER OF DEEDS. SUCH BUFFER AREAS SHALL BE LEFT IN A NATURAL, UNALTERED STATE. NO BUILDINGS OR OTHER IMPROVEMENTS SHALL BE CONSTRUCTED WITHIN SUCH AREAS. NO VEGETATION SHALL BE REMOVED, EXCEPT FOR DISEASED OR DEAD VEGETATION. INCIDENTAL ACTIVITIES ARE PERMITTED WITHIN THE BUFFER AREAS, CONSISTING OF INITIAL CONSTRUCTION ACTIVITIES, INSTALLATION AND MAINTENANCE OF UTILITIES, AND OTHER ACTIVITIES REQUIRED TO PROTECT THE HEALTH, SAFETY, AND GENERAL WELFARE.
- FINAL C.B.U. MAIL LOCATIONS TO BE DETERMINED IN COORDINATION WITH UNITED STATES POSTAL SERVICE.
- PER THE APPROVED PLANNED UNIT DEVELOPMENT FOR EMERALD SPRINGS AND AS ALLOWED BY SECTION 405-25 OF THE TOWNSHIP SUBDIVISION OF LAND ORDINANCE, SIDEWALKS ARE ALLOWED ON ONE SIDE OF THE STREET. REQUIRED MINIMUM SIDEWALK WIDTH IS SIX FEET.
- OVERALL NUMBER OF UNITS IN PUD (98 UNITS) IS NOT PROPOSED TO CHANGE AT THIS TIME. NO MAJOR PUD AMENDMENT IS PROPOSED FOR CURRENT PHASE. A MAJOR PUD AMENDMENT MAY BE REQUIRED IN A FUTURE PHASE, SUBJECT TO ZONING ADMINISTRATOR DETERMINATION.

DESCRIPTION OF PHASE ONE

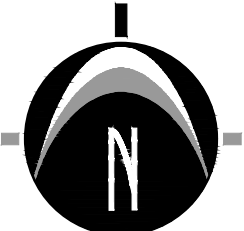
Part of the Northwest 1/4 of Section 26, Town 7 North, Range 14 West, Allendale Township, Ottawa County, Michigan, described as: Commencing at the North 1/4 corner of said Section; thence S00°52'00"E 1925.82 feet along the North-South 1/4 line of said Section to the Point of Beginning; thence continuing S00°52'00"E 100.00 feet along said North-South 1/4 line; thence S89°08'00"W 217.00 feet; thence S00°52'00"E 296.04 feet parallel with said North-South 1/4 line; thence N89°39'58"W 182.95 feet parallel with the East-West 1/4 line of said Section; thence S00°52'00"E 300.00 feet; thence N89°39'58"W 469.43 feet along said East-West 1/4 line; thence N00°20'02"E 133.00 feet; thence N89°39'58"W 44.28 feet; thence N00°20'02"E 589.92 feet; thence N89°08'00"E 480.35 feet; thence N00°52'00"W 28.69 feet; thence N89°08'00"E 201.00 feet; thence S00°52'00"E 70.00 feet; thence N89°08'00"E 217.00 feet to the Point of Beginning. Contains 10.78 acres. Subject to highway right-of-way for 60th Avenue over the most Easterly 33 feet thereof. Also subject to easements, restrictions and rights-of-way of record.

PHASING TIMELINE (MARKET DRIVEN)

PHASE ONE:	2023 (2024 COMPLETION)
PHASE TWO:	2026
PHASE THREE:	2028
PHASE FOUR:	2030



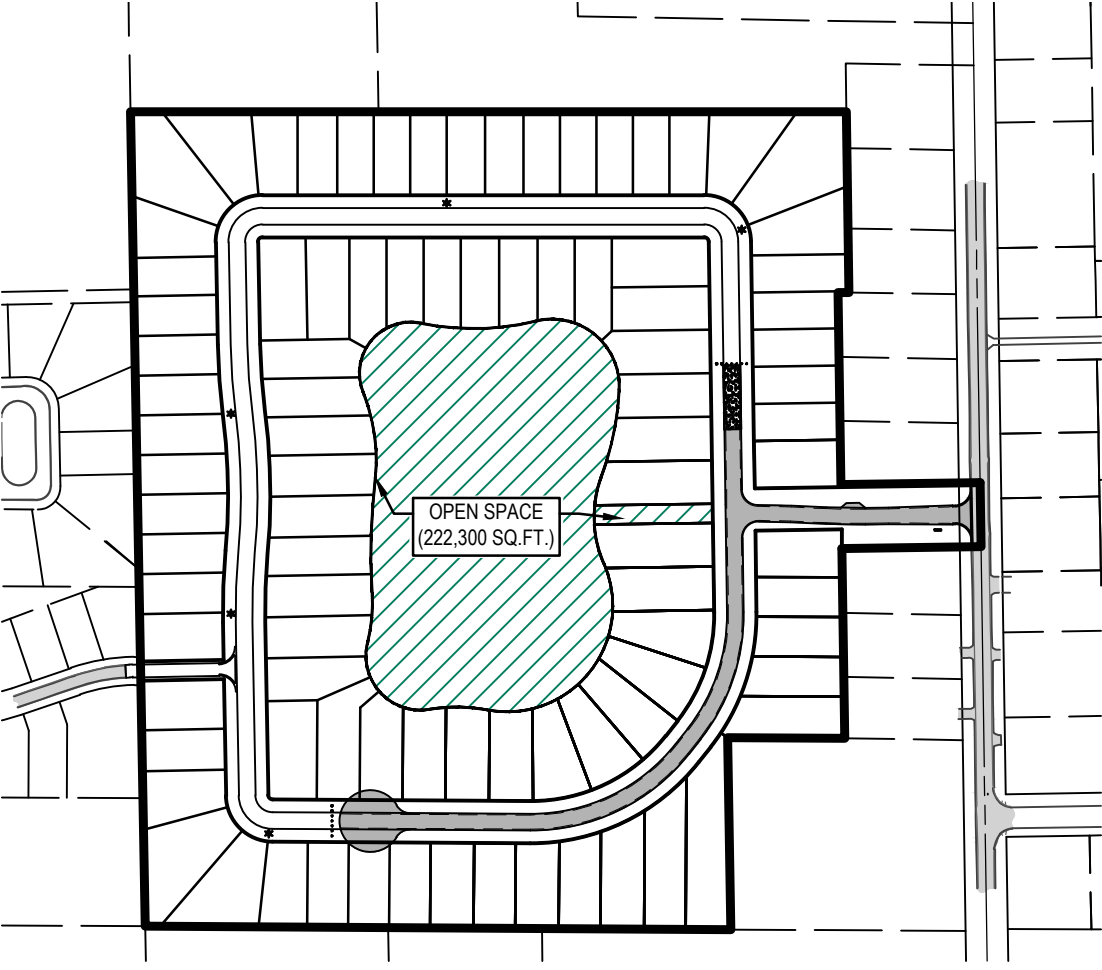
LOCATION MAP (NOT TO SCALE)
SECTION 26, T7N, R14W, ALLENDALE TOWNSHIP, OTTAWA CO.



0' 50' 100' 200'
SCALE: 1" = 100'

LEGEND

- EXISTING BITUMINOUS
- EXISTING CONCRETE
- PROPOSED BITUMINOUS (STANDARD DUTY)
- PROPOSED CONCRETE (STANDARD DUTY)
- PROPOSED STREET LIGHT



OPEN SPACE EXHIBIT

NO SCALE

NEDERVELD
www.nederveld.com
800.222.1868
GRAND RAPIDS
217 Grandville Ave., Suite 302
Grand Rapids, MI 49503
Phone: 616.575.5190
ANN ARBOR
CHICAGO
COLUMBUS
HOLLAND
INDIANAPOLIS
ST. LOUIS

PREPARED FOR:
Red Three Land Investments

1188 East Paris Ave SE, Suite 100
Grand Rapids, MI
Phone: 616.455.0200

REVISIONS:

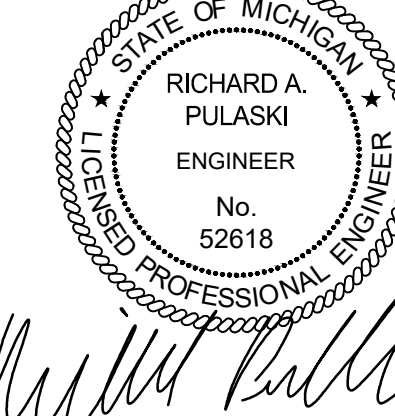
Title: Preliminary Plat Submittal	Checked: RP	Date: 2023.10.18
Drawn: JW	Checked: RP	Date: 2023.11.10

EMERALD SPRINGS PRELIMINARY PLAT

OVER ALL PLAN

10889 60TH AVENUE, ALLENDALE, MI 49401
PART OF THE NORTHWEST 1/4 OF SECTION 26, T7N, R14W,
ALLENDALE TOWNSHIP, OTTAWA COUNTY, MICHIGAN

STAMP:



PROJECT NO:
18201950

SHEET NO:
C-205



Know what's below.
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UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.
NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLAN" WERE OBTAINED FROM AVAILABLE "AS-BUILT" RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

1188 East Paris Ave SE, Suite 100
Grand Rapids, MI
Phone: 616.455.0200

Title: Preliminary Plat Submittal		
Drawn: JW	Checked: RP	Date: 2023.10.1
Title: Revised Preliminary Plat Submittal		
Drawn: JW	Checked: RP	Date: 2023.11.1

[illegible]

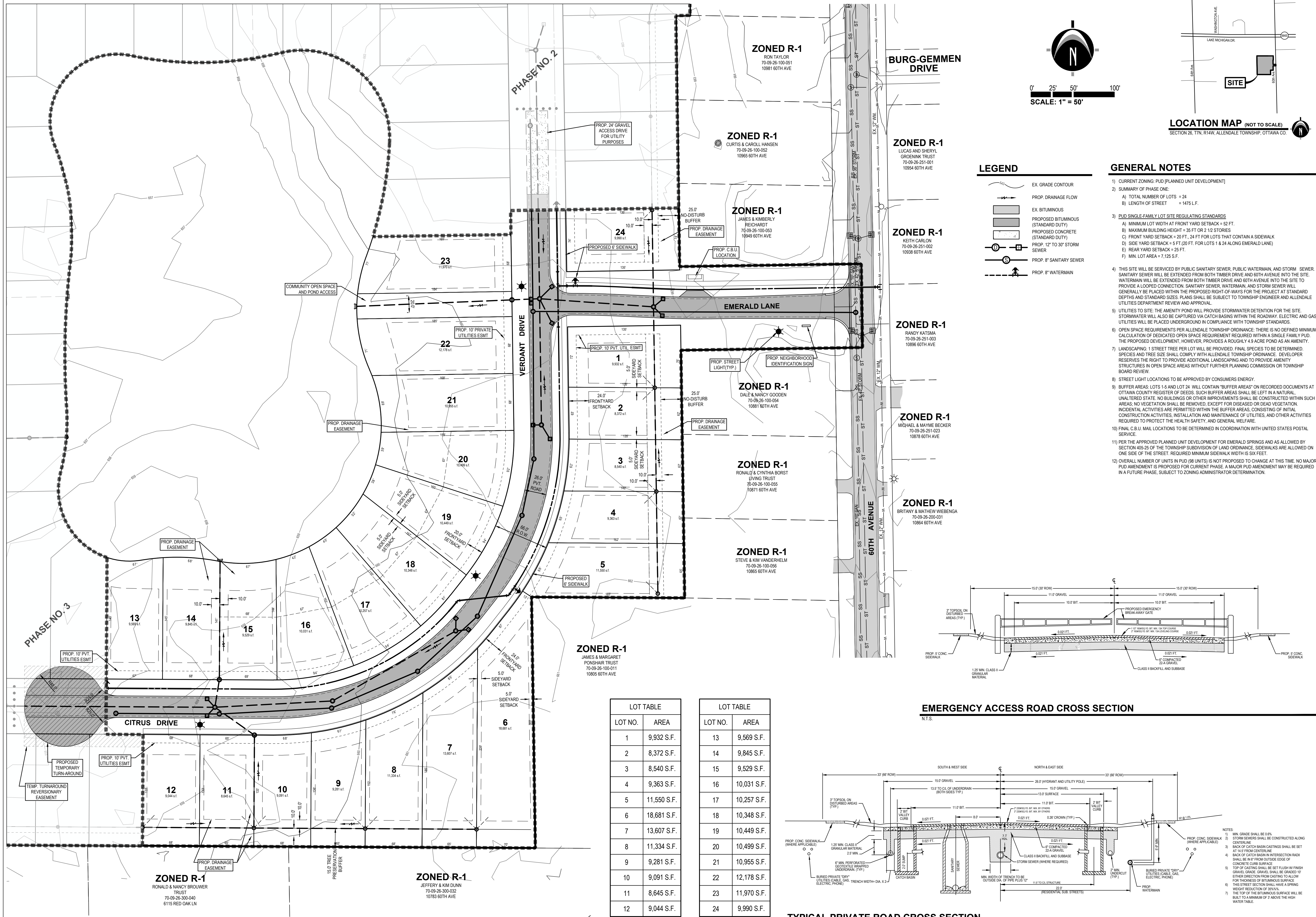
PHASE ONE PLAN

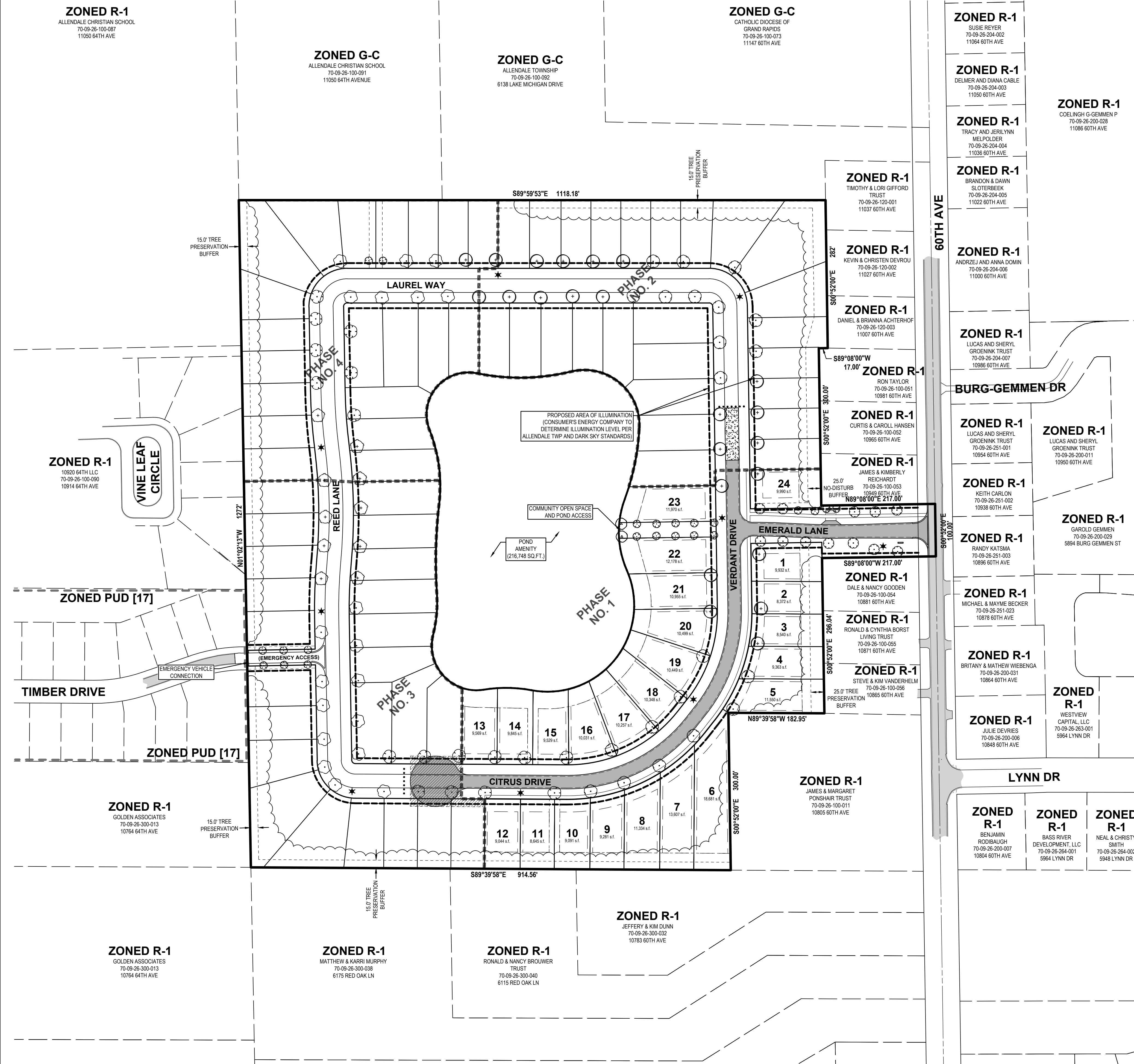


STATE OF MICHIGAN
RICHARD A. PULASKI
ENGINEER
No. 52618
LICENSED PROFESSIONAL ENGINEER

Richard A. Pulaski

SHEET NO:
C-206





PLAN PROVIDED BY:

NAME: DUSTIN L. CORR
ADDRESS: 217 GRANDVILLE AVE SW STE. 302
GRAND RAPIDS, MI 49503
LICENSE #: 3901001645

LEGEND

	EXISTING BITUMINOUS
	EXISTING CONCRETE
	PROPOSED BITUMINOUS (STANDARD DUTY)
	PROPOSED CONCRETE (STANDARD DUTY)
	PROPOSED STREET LIGHT

PLANTING LEGEND

SYMBOL	TREE TYPE	SIZE	QTY
	Ornamental Tree	1.75" cal. min.	22
	Deciduous Tree	2.5" cal. min.	104

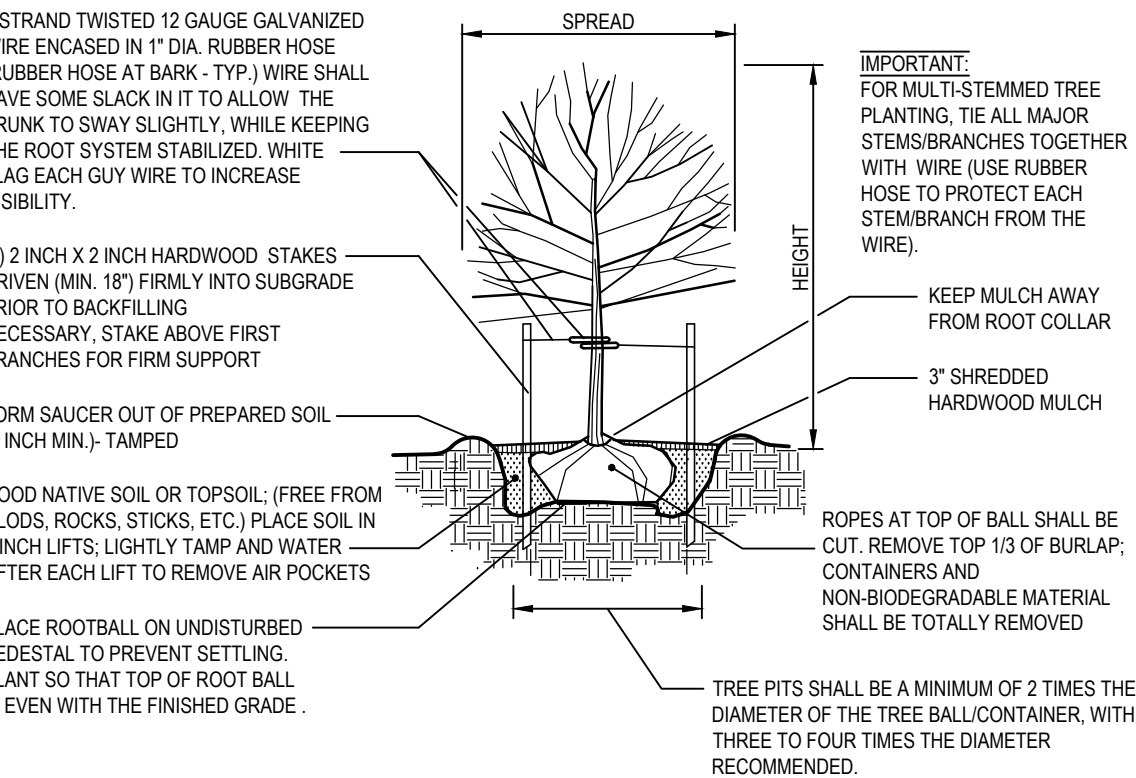
LANDSCAPE NOTES

PLANTING NOTES:

- ALL PLANT MATERIAL SHALL BE LOCALLY NURSERY GROWN NO.1 GRADE AND INSTALLED ACCORDING TO ACCEPTED PLANTING PROCEDURES. ALL PLANT MATERIALS SHALL MEET CURRENT AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. DO NOT PLANT MATERIALS UNTIL DIRECTED BY OWNER, LANDSCAPE ARCHITECT, AND/OR CONSTRUCTION MANAGER. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL, FOR ANY REASON BEFORE OR AFTER IT IS INSTALLED.
- SIZES SPECIFIED ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED.
- ANY PLANT SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
- MAINTENANCE OF LANDSCAPING ITEMS, TREES, AND PLANTS SHALL BE PERFORMED BY THE PROPERTY OWNER OR A QUALIFIED PROFESSIONAL. ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH APPLICABLE MUNICIPAL STANDARDS AND IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS IN A NEAT, HEALTHY AND WEED FREE CONDITION. ANY DEAD, DISEASED OR DAMAGED PLANT MATERIALS ARE TO BE REPLACED IMMEDIATELY AFTER NOTIFIED TO DO SO.
- PLANT TREES AND SHRUBS IN ACCORDANCE WITH PLANTING DETAILS. DIG TREE PITS PER DETAILS. PLANT TREES AND SHRUBS AT THE SAME GRADE LEVEL AT WHICH THEY WERE GROWN AT THE NURSERY. IF HEAVY CLAY SOILS ARE EVIDENT, PLANT TREES AND SHRUBS HIGHER, APPROX. 1/4 OF THE ROOT BALL ABOVE GRADE, AND BACKFILL TO TOP OF ROOT BALL.
- REMOVE ALL TWINE, WIRE, NURSERY TREE GUARDS, TAGS AND INORGANIC MATERIAL FROM ROOT BALLS. REMOVE THE TOP 1/3 OF BURLAP FROM EARTH BALLS AND REMOVE BURLAP FROM AROUND TRUNK.
- FINELY SHREDDED HARDWOOD BARK MULCH, NATURAL COLOR (NON-COLORED), IS REQUIRED FOR ALL PLANTINGS AND PLANTING BEDS. MULCH PER PLANTING DETAILS. MULCH IN PLANT BEDS SHALL BE 3" THICK AT TIME OF INSPECTION AND AFTER COMPACTED BY RAIN OR IRRIGATION. ALL PLANTING BEDS SHALL BE EDGED WITH 6" X 12 GAUGE STEEL LANDSCAPE EDGING.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES. IF A CONFLICT WITH UTILITIES EXIST, NOTIFY OWNER/CONSTRUCTION MANAGER PRIOR TO PLANTING.
- PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER PLANTING AND ACCEPTANCE.

TOPSOIL AND SEED NOTES:

- WHEREVER GROUND IN ITS NATURAL STATE HAS BEEN DISTURBED, APPROVED LANDSCAPING OR GRASS SHALL BE FULLY INSTALLED, AND ESTABLISHED WITHIN A REASONABLE PERIOD OF TIME, BUT NO LONGER THAN ONE GROWING SEASON (UNLESS OTHERWISE NOTED AND APPROVED).
- DURING EXCAVATION, GRADING, AND INSTALLATION OF REQUIRED LANDSCAPING, ALL SOIL EROSION AND SEDIMENTATION CONTROL REGULATIONS SHALL BE STRICTLY FOLLOWED AND COMPLIED WITH.
- ALL LAWN AREAS SHALL BE HYDROSEED. SEED SHALL BE INSTALLED ON TOPSOIL UNLESS APPROVED OTHERWISE. DO NOT SEED UNTIL ACCEPTANCE OF FINISH GRADE.
- SEED SHALL BE INSTALLED ON A MIN. OF 3"-4" OF LIGHTLY COMPACTED APPROVED TOPSOIL. TOPSOIL SHALL BE FERTILE, SCREENED, FRIABLE TOPSOIL FREE OF STONES 1/2" IN DIA. AND LARGER, ROOTS, STICKS, OR OTHER EXTRANEIOUS MATERIAL, INCLUDING NOXIOUS PLANTS. PH BETWEEN 6.0 AND 6.5, SALTS 500 PARTS PPM, ORGANIC CONTENT 3% MIN. DO NOT INSTALL TOPSOIL UNTIL APPROVED BY OWNER/COM. TOPSOIL SHALL BE FINE GRADED TO A SMOOTH FINISH, FREE OF LUMPS AND DEPRESSIONS.



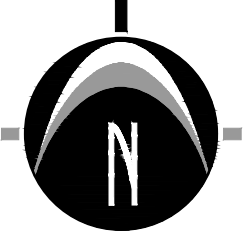
TYPICAL TREE PLANTING DETAIL

N.T.S.



LOCATION MAP (NOT TO SCALE)

SECTION 26, T1N, R14W, ALLENDALE TOWNSHIP, OTTAWA CO.



0' 50' 100' 200'
SCALE: 1" = 100'

TYPICAL STREET LIGHT

N.T.S.

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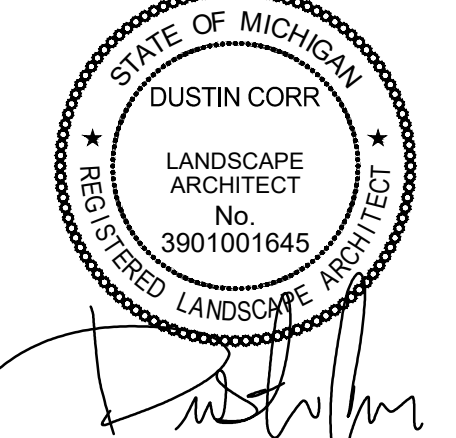
Title: Preliminary Plat Submittal
Drawn: JW Checked: RP Date: 2023.11.10

EMERALD SPRINGS
PRELIMINARY PLAT

Landscape Plan

6138 LAKE MICHIGAN DRIVE
PART OF THE NORTHWEST 1/4 OF SECTION 26, T1N, R14W,
ALLENDALE TOWNSHIP, OTTAWA COUNTY, MICHIGAN

STAMP:



PROJECT NO:
18201950

SHEET NO:
L-200

811 Know what's below.
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Resolution 2024-02
2024 Board Meeting Dates- Corrected

At a regular meeting of the Township Board of the Charter Township of Allendale, Ottawa County, Michigan, held at the Township Hall located at 6676 Lake Michigan Drive, Allendale, Ottawa County, Michigan on January 8, 2024.

Present:

Absent:

The following resolution was offered:

Motioned by xx, supported by xx that the Allendale Charter Township Board, Ottawa County, Michigan set the following dates for the 2024 Township Board meetings for Mondays at 6:00 pm (unless otherwise noted), at the Township office located at 6676 Lake Michigan Drive, Allendale, Michigan:

January 8	July 8
January 22	July 22
February 12	August 12
February 26	August 26
March 11	September 9
March 25	September 23
April 8	October 14
April 22	October 28
May 13	November 11
May 27 May 28	November 25
June 10	December 9
June 24	December 20 [8:00 a.m.] *

YEAS:

NAYS:

ABSENT:

Resolution declared adopted on January 8, 2024.

Jody L. Hansen
Allendale Charter Township Clerk

Adam Elenbaas
Allendale Charter Township Supervisor